

The Farm and The Fields at Alamo Creek

Vacaville, CA

Specific Plan

Revised August 2023

Intentionally Left Bank

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PROJECT VISION+ SITE

PROJECT VISION AND SITE

- 1.0 Introduction
- 1.1 Objectives and Goals

1.0 INTRODUCTION

A new residential community reflective of the agrarian spirit of the City of Vacaville

The Farm at Alamo Creek is a new neighborhood in the City of Vacaville, reflective of the agrarian environment and character of the region. The project will provide an ideal setting to implement the best and most current practices of urban planning.

The neighborhood's diverse housing choices will encourage a true blending of generations, from young business professionals to large families with children and older adults. It will be a place where modern living meets the tradition of agrarian California, allowing its residents to enjoy a healthy quality of life, where opportunities for outdoor recreation and socialization abound, and fresh farm-to-table food is an everyday reality.

The project presents an opportunity for the City of Vacaville to create a model community along its edges, a high-quality development that provides recreational, housing, and commercial services with a strong sense of local identity.

chapter 1

1.0.1 Site

The Farm at Alamo Creek Specific Plan area comprises 210.5 acres and in 2023 the plan was amended to add an additional 33.6 for a total 244.1 acres. The plan area is bounded by Leisure Town Road (Future Jepson Parkway) on the west, Hawkins Road on the north, Elmira Road on the south and the P.G. & E. Power Lines on the east. (See Figure 1.1 Regional Map and Figure 1.2 Vicinity Map.) Control of the developable property consists of three landowners (See Figure 1.3 The Farm at Alamo Creek Property owners). For a contextual view See Figure 1.4 The Farm at Alamo Creek Satellite Photo.

The Farm at Alamo Creek is consistent with the Vacaville General Plan. Approximately 189.1 acres of the property within the Specific Plan is owned by Vacaville S2 Investors LLC which has initiated the preparation of this Specific Plan and associated General Plan amendment application and 33.6 acres (the Fields) have been incorporated into the plan by amendment by G&W Holdings LLC.

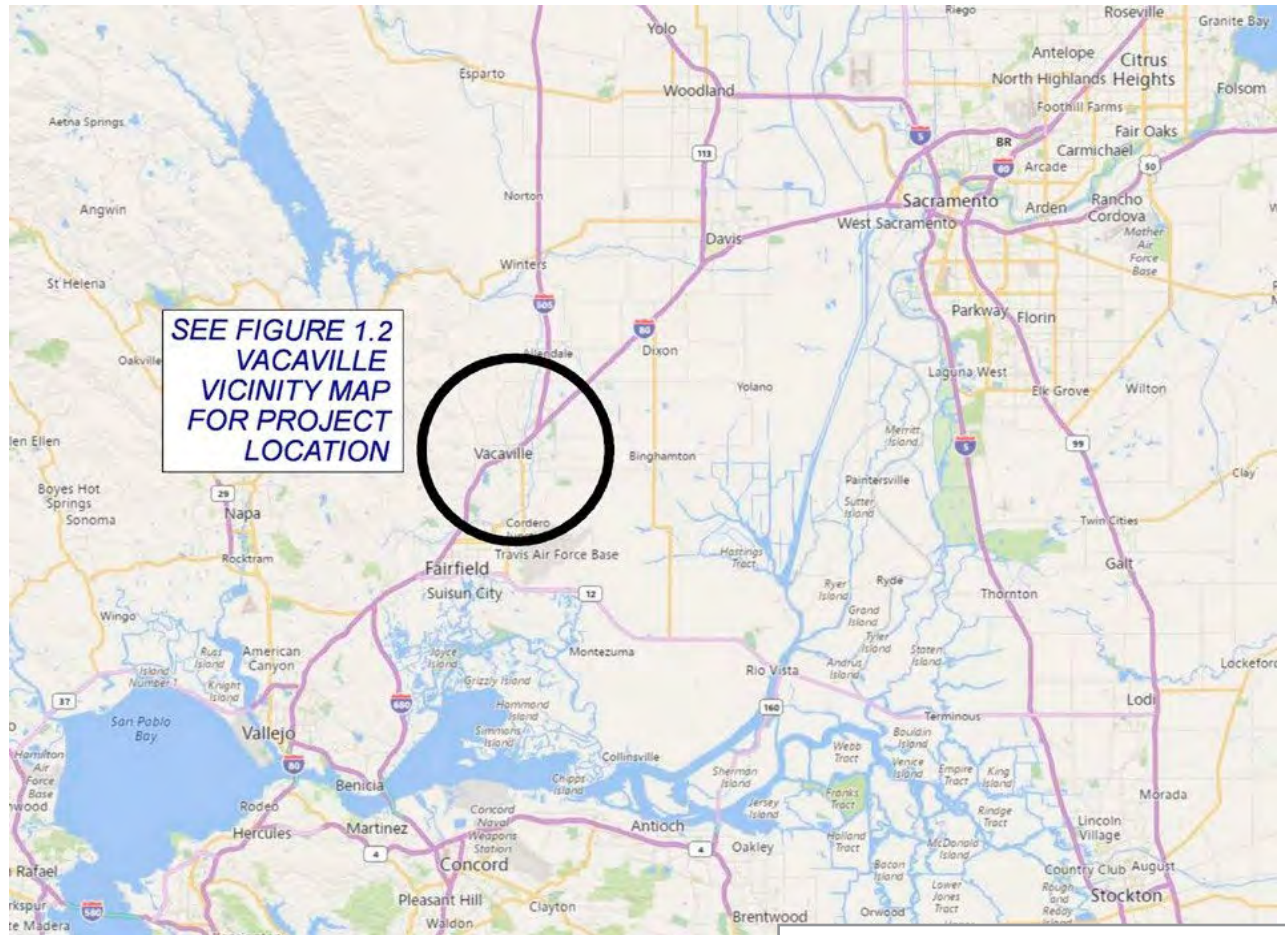


Figure 1.1: Regional Map

PROJECT VISION + SITE

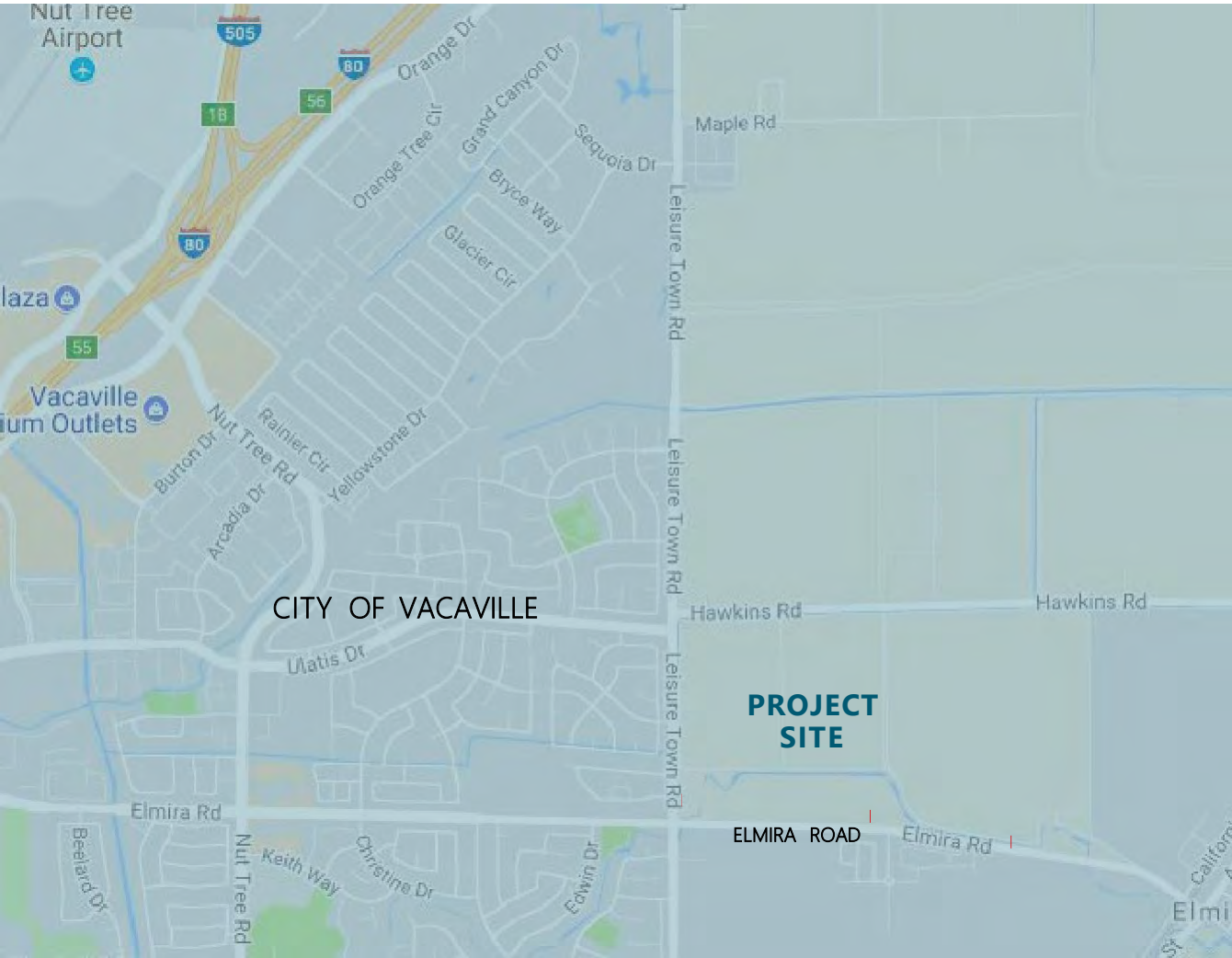
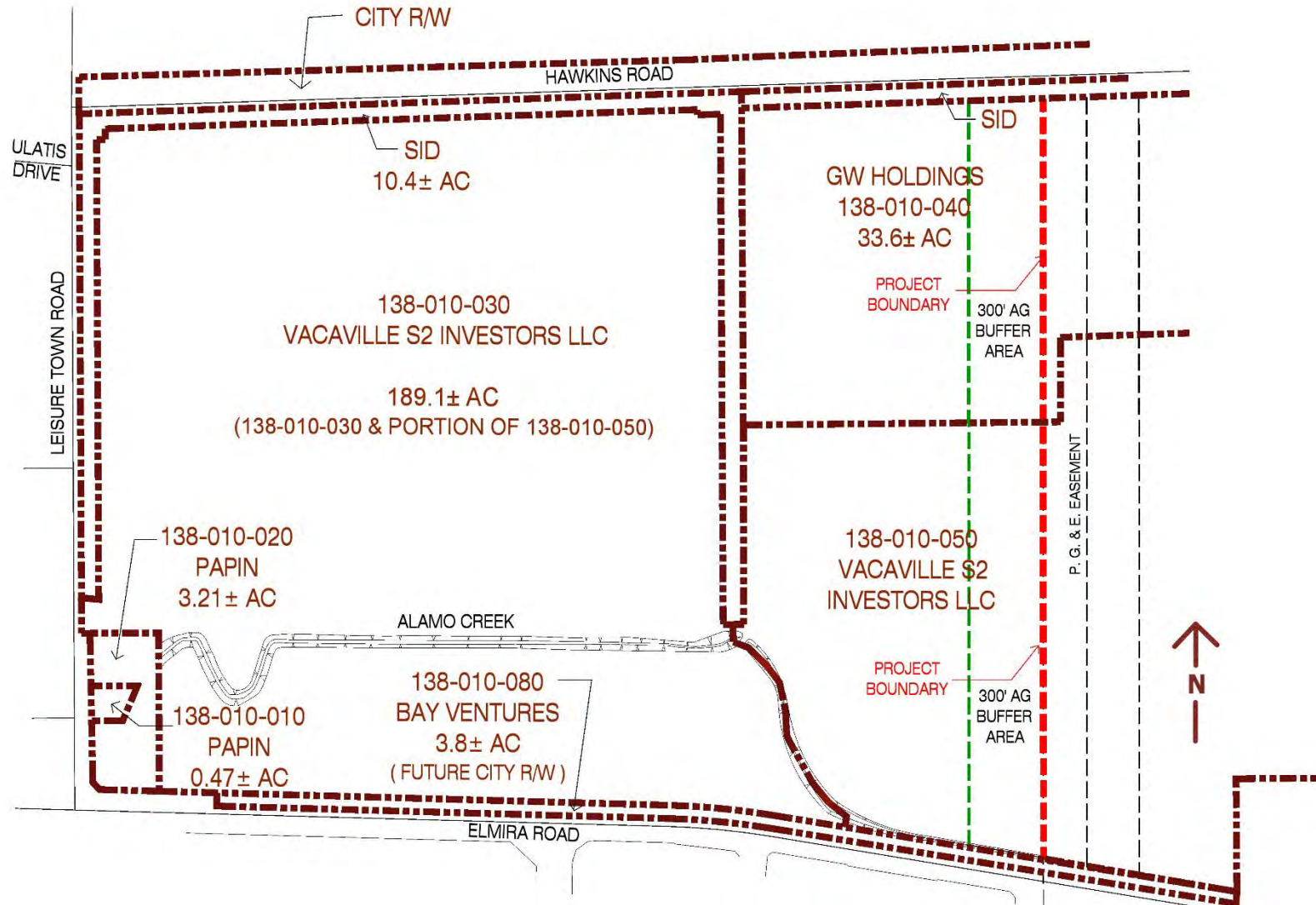


Figure 1.2: Vicinity Map

chapter 1



THE FARM
AT ALAMO CREEK

PROPERTY OWNERSHIP

FIGURE 1.3

08-11-2022

PROJECT VISION + SITE



THE FARM
AT ALAMO CREEK

AERIAL PHOTO
FIGURE 1.4

08-11-2022

chapter 1

1.1 OBJECTIVES AND GOALS

A framework for a new, vibrant, open-space and recreation-oriented community

The primary objective of The Farm at Alamo Creek Specific Plan is to create the framework for a vibrant new open-space and recreation-oriented community with development standards and a land use plan for the area that will reinforce the overall qualitative goals of the City of Vacaville.

Numerous public benefits will occur with the development of The Farm at Alamo Creek:

The proposed new community will promote health and wellness through its extensive pedestrian and bicycle trails, its outdoor recreation areas, and the opportunities provided for social interaction and access to fresh food.

The Farm at Alamo Creek will provide an enhanced pedestrian and bicycle experience integrating the proposed paths with the existing and proposed natural assets (the creek, detention basin and the parks) and creating a variety of destinations and focal points throughout the community.

The proposed development will expand traditional housing types and planning criteria to include multi-generational living opportunities and a variety of densities for a broader spectrum of residents.

Sustainability and environmental stewardships will permeate all aspects of life and all activities within the community.

The identity of the community will be reinforced through specific design elements (paving, furnishings, etc.) to create a strong sense of place. Pavements and furnishings shall be attractive, durable, high-quality materials that require minimal long-term maintenance.



The use of productive landscape species along Leisure Town Parkway and other private lands along with nearby farming activities will strengthen the identity of the community, provide opportunities for locally produced foods, and improve the overall health of residents.

The Farm at Alamo Creek Specific Plan was amended in 2023 to add 33.6 acres to the northeast corner of the plan area. The amendment is additive and does not change any provisions of the original plan or entitlements granted to the original 210 acres.

1.1.1 Housing Goals

Housing choices have been selected in response to demographic trends and market demands. These housing types are suitable for a variety of residents, including families, small households, working professionals and older adults.

1.1.2 Open Space Goals

The Farm at Alamo Creek Property provides a variety of open spaces addressing the outdoor recreational needs of the residents, emphasizing the agrarian/food producing character of the landscape, protecting, and enhancing the existing natural features (Old Alamo Creek) and providing multiple places for social interaction and community building.

The community park and clubhouse, at the heart of the neighborhood, and the two nearby pocket parks, to the north and to the south of the central residential "spine", function as local catalysts for neighborhood activities.

The proposed orchard along Leisure Town Road, the large Play-4-All Park, along the south edge of the community, and the creek park create a green buffer between the community and the adjacent neighborhoods and provide larger, more extensive, opportunities for outdoor play activities.

PROJECT VISION + SITE

1.1.3 Environment and Sustainability

The Farm at Alamo Creek's overarching sustainability objectives will include the practical and responsible application of building efficiency, low impact development, smart growth planning principles to reduce energy use and greenhouse gas emissions, conserve resources, and provide for interpretive learning opportunities. The homes will all comply with the California Building Code for Energy Efficiency and with the City of Vacaville General Plan for compliance with Green House Gas emissions. Unique to the Fields portion of the project all homes will be all electric without natural gas. The all-electric homes will provide a reduced carbon footprint and further the projects sustainability.

- **Transportation Measures:** The transportation sector accounts for more than half of local GHG emissions. The project will address vehicle emissions as an aspect of sustainability creating new linkages to the City's existing bicycle and pedestrian network. The Farm at Alamo Creek is designed at a pedestrian scale with distances among uses short enough to walk and bike: every residence is approximately within 300 feet of a pedestrian park or open space area or trail.

- **Local Food Production:** The project will incorporate fruiting trees into the private ornamental landscape. Additionally, a proposed orchard will function as a buffer between the residential community and Leisure Town Road, mitigating the acoustic, visual and pollution impact of the road and creating a food source



- **Interpretive and Educational Opportunities:** The project will raise sustainability awareness through interpretive signage and putting particular emphasis on the benefits of local food supplies through related educational opportunities.

- **Water Conservation Measures:** The Farm at Alamo Creek will incorporate measures aimed at reducing overall water demands for potable water. The planting design will emphasize the use of native, drought tolerant species throughout the entire site.

- **Storm Water Management Practices:** Stormwater quality control measures will be developed and implemented during the development of the project. These measures are expected to include site design measures, source control measures and treatment control measures. Best Management Practice (BMP) features that treat runoff close to the source, such as bio-swales, vegetated swales and other state-of-the-art techniques will be incorporated into the design of the project to clean storm water runoff before it enters off-site drainageways. The most significant BMP feature is the large detention basin proposed at the southeast edge of the site, which will collect runoff overflow from the Old Alamo Creek. Other features will include biofiltration swales and grasses swales within entry roads medians. The additional 33.6 acres will provide similar detention and treatment in the linear open space along the eastern edge of the plan area.

chapter 1

1.1.4 Other Goals

The Farm at Alamo Creek Specific Plan goals for land use and design, circulation, resource management, public utilities and services can be found in their respective chapters:

Chapter 3 – Land Use

Chapter 4 – Transportation and Circulation

Chapter 5 – Recreation, Open Space, and Resource Management

Chapter 6 – Public Facilities

Chapter 7 – Community Services and Facilities







PROGRAM + AMENITIES

2 PROGRAM AND AMENITIES

2.0 INTRODUCTION

2.0 Introduction

2.1 Amenities

In addition to a wide variety of housing types in a walkable neighborhood, The Farm at Alamo Creek will provide a variety of public and private parks and green spaces, integrating the new community with the existing natural context

Fully one-quarter of the proposed project includes open space, park, and trail amenities along with other benefits as outlined below (See Figure 3.1 Proposed Land Use):

- 45.8 acres of various parks and trails:
- A 4.7-acre central community clubhouse, neighborhood pool, parklike setting, and ample parking.
- Two neighborhood pocket parks:
- An approximately 11.2-acre community park along with an 8.2-acre privately funded Play-4-All Park with ample parking.

chapter 2

- A naturally landscaped passive park and enhanced trails along Old Alamo Creek
- A landscaped detention basin with surrounding maintenance access road that may be used as a recreational trail which will also serve as a retention basin, wildlife habitat and water quality feature. The trails will be extended north into the amendment area adjacent to the Fields detention basin.
- Trails and convenient pedestrian pathways throughout the neighborhood.
- Improvements to Leisure Town Road (in conformance with Jepson Parkway Plan. In conjunction with the widening of Leisure Town Road, the project will install unique landscaping as detailed Figure 6.2.1. the



landscaping includes: a sloped area adjacent to the subdivision with orchard type trees; an open SID irrigation canal and landscaping between Leisure Town Road and the canal.

PROGRAM + AMENITIES

2.1 AMENITIES

2.1.1 Community Clubhouse

The community clubhouse and pool in a parklike setting will function as the social and activity 'heart' of the neighborhood. The centrally located site and facility will provide pool and recreation facilities for the neighborhood. If conditions allow the Fields may annex into the Farm's homeowner's association or create its own homeowner's association for the maintenance of the Fields park and common areas. Any proposed parking as shown in Figure 2.3 in the Specific Plan that is perpendicular to the street shall (1) be reviewed with the improvement plans to verify that the parking stalls do not create traffic issues, (2) be installed outside the right-of-way, (3) be maintained by the HOA and (4) meet ADA requirements.

2.1.2 Community Park

The 11.2-acre community park is intended to provide a wide range of recreational options for residents and nearby neighbors. The park will provide a green, buffer between the future school site and Elmira Road. An agricultural rail fence, similar to the low fence on Leisure Town Parkway may line the roadway front-ages. Two pedestrian bridges will span Old Alamo Creek, connecting the parallel trails and the new neighborhood with the fields and facilities. The community park may include facilities subject to design by the City Parks and Recreation Department including:

- Two soccer fields, a baseball diamond, enhanced trails and naturally landscaped passive park along Alamo Creek

In addition, there is an 8.2-acre 'Play-4-All Park', which is proposed to be privately funded and designed for children of all abilities and disabilities. The Play-4-All Park will be fenced and will likely include facilities such as:

- An 8,000 SF play structure, two mini ballparks designed for Challenger Leagues, Tee Ball, and adult whiffle ball, a town square, and two dog parks



chapter 2



Figure 2.1: Play-4-All Park Concept

PROGRAM + AMENITIES

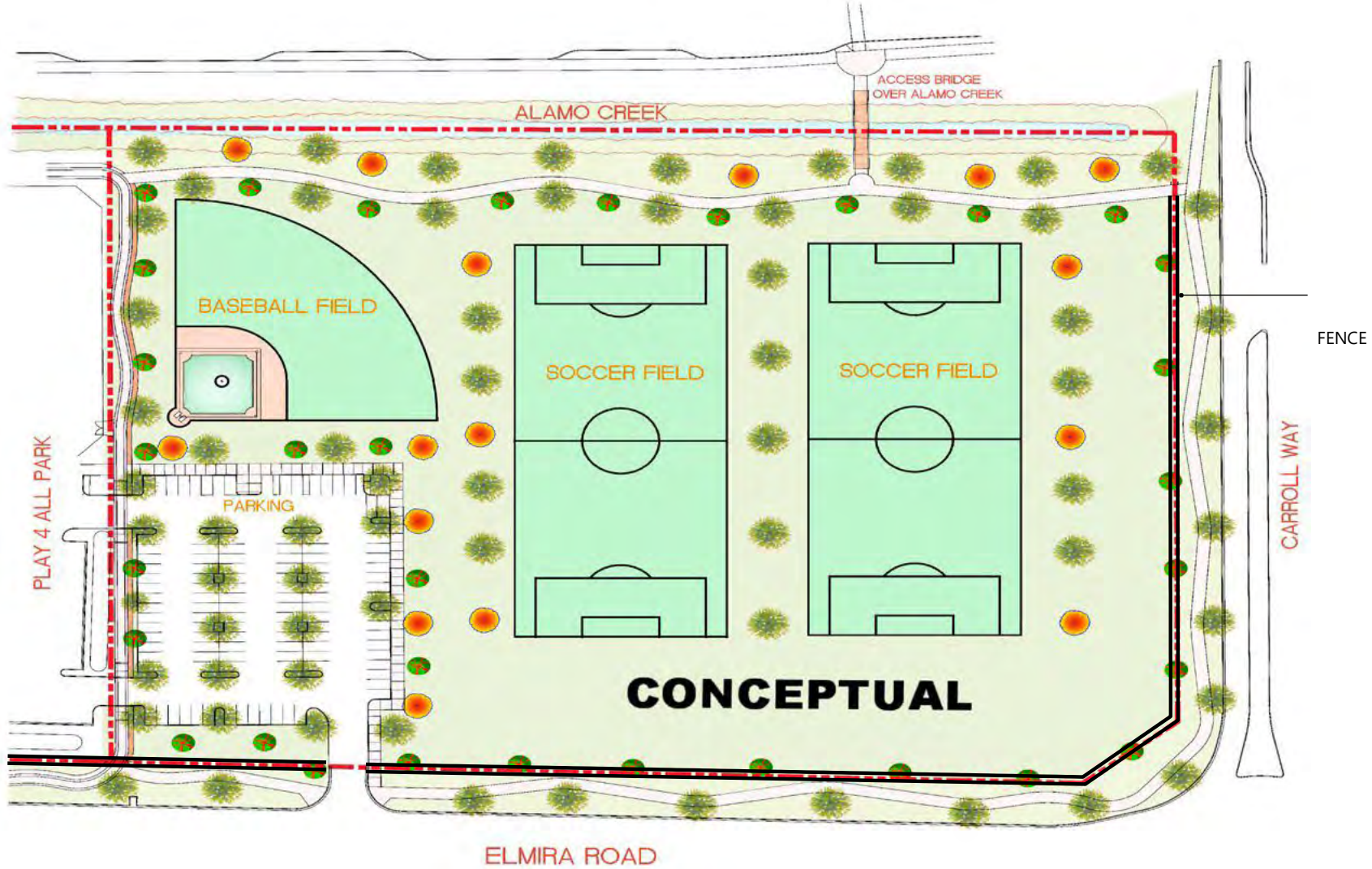


Figure 2.2: Community Park Concept

chapter 2

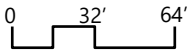
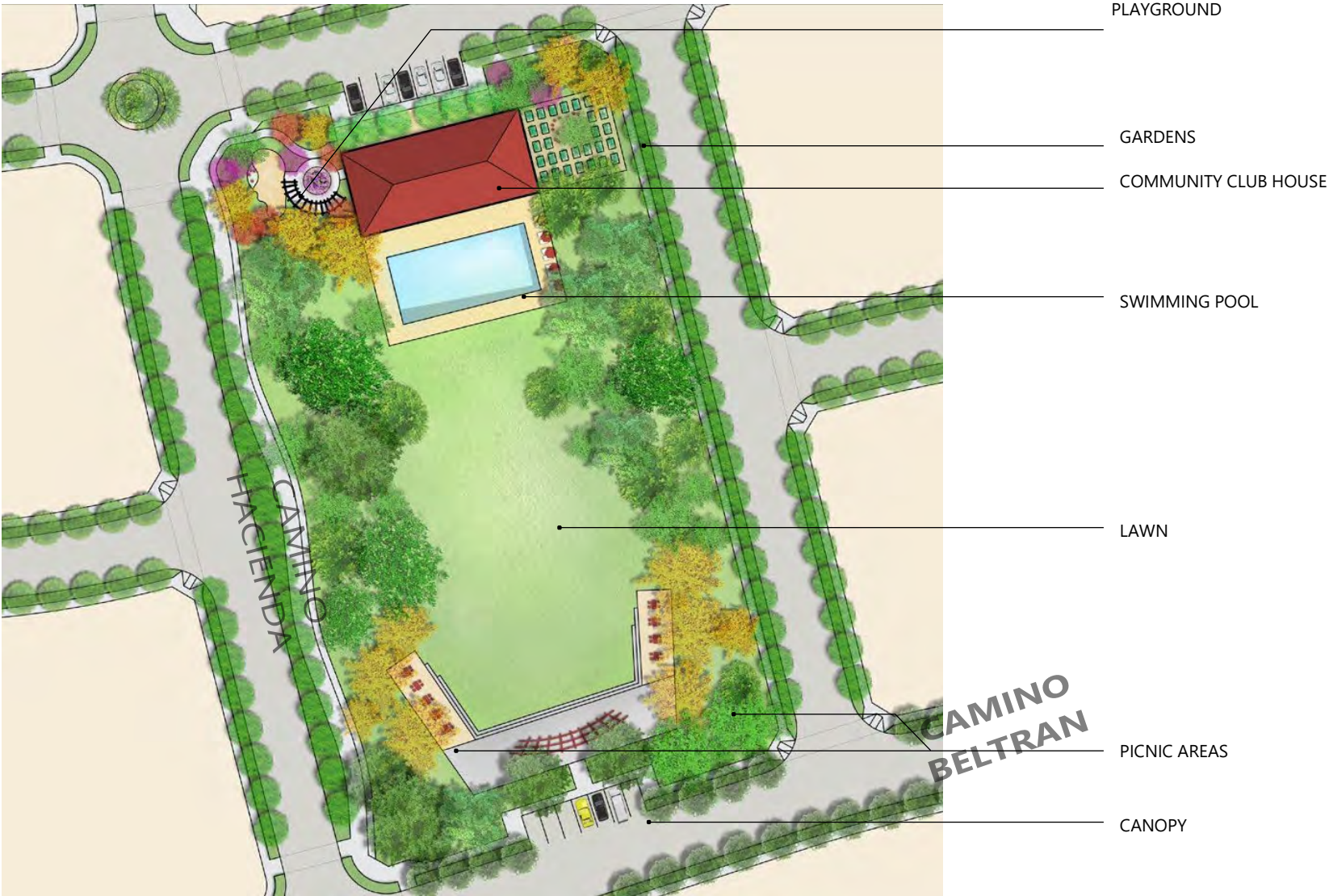


Figure 2.3: Neighborhood Park & Club House Concept

PROGRAM + AMENITIES



Figure 2.4: Pocket Park

chapter 2

2.1.3 Improvements to Leisure Town Road (Jepson Parkway)

The Solano Transportation Authority (STA) has adopted the Jepson Parkway Plan Line which details widening and landscaping improvements along Leisure Town Road which will eventually become Jepson Parkway. With development of The Farm at Alamo Creek the frontage improvements for Jepson Parkway along with the landscaping improvements will be constructed along this key corridor serving Fairfield and Vacaville. In addition, the project is proposing a unique treatment of the frontage that will reinforce the farm-to-table concept for the neighborhood. **As detailed in Figure 6.2.1 the landscaping along Leisure Town Road will include landscaping on either side of the SID canal and the area between the canal and subdivision boundary that will include orchard type trees.**



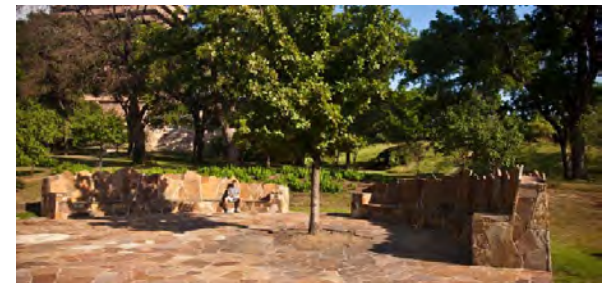
2.1.4 Landscaped Detention Basin

A large, landscaped detention basin will provide both a recreational amenity and functional wildlife habitat in addition to treating on-site stormwater flows from the neighborhood. A maintenance access road that may be used as a recreational trail will surround the feature connecting to the Old Alamo Creek pedestrian and bike trail and to the on-site pathways. Landscaping will be designed to screen the basin and minimize attractiveness to waterfowl and large nesting birds which can be a hazard to aviation. This 'green infra-structure' approach avoids the need for large mechanical pump stations and associated infrastructure. **The Fields will provide onsite detention and storm water treatment in the linear open space along the eastern edge of the plan area. The Fields detention basin will also provide a combination maintenance access road and recreational trail surrounding the basin.**



2.1.5 New Pocket Parks

Development of The Farm at Alamo Creek will result in the creation of **three** "pocket parks" totaling **2.1** acres in size which will be maintained by the HOA's. These proposed parks provide small, localized recreational amenities such as picnic areas, seating, play structures, ornamental planting, or other elements near homes and will be linked via an enhanced multiuse trail.



2.1.6 Trail System

In addition to the proposed parks, a series of multiuse trails will be constructed throughout the community which will provide pedestrian and bicycle friendly connections to all facilities. The Farm at Alamo Creek project will be constructing approximately 5 miles of trails. **The Fields will construct additional trails approximately .5 miles in length around the detention basin.**

2.1.7 Variety of Housing Types

The Farm at Alamo Creek development will include a wide variety of housing types with an emphasis on medium density development. 48% of the proposed homes will be moderate density, while 18% will be high density which will include an attached “duet” product. 34% of the new housing will be a variety of lowdensity, single-family residential homes.

A variety of floor plans and architectural styles will be encouraged, and developers of each phase will provide define the mix and styles of homes for eachphase. These plans will be subject to the City’s Design Review process.



Variety of Architectural Styles

chapter 2

2.1.8 Neighborhood Commercial Properties

The Farm at Alamo Creek includes two neighborhood commercial properties designed to serve the residents of the development and those living nearby. The northernmost site, at the southeast corner of Leisure Town Road at Hawkins Road, is approximately 4 acres in size. Figure 2.5 depicts a conceptual development plan of the site and shows a right turn in and out driveway that will be allowed on Leisure Town Road subject to the review and approval of the Director of Public Works Director. Figure 2.6 depicts a conceptual development plan on the southernmost commercial parcel (commonly referred to as the Papin Property) which fronts Leisure Town Road. Certain development criteria for this property (driveway locations and utilities) is included in a separate agreement between the City of Vacaville and the Papin family. The layouts of the two commercial properties (shown in Figures 2.5 and 2.6) are conceptual in nature and not part of the tentative map or Specific Plan approval. Further, for the Neighborhood Commercial property at the northeast corner of Leisure Town Road and Elmira Road (Figure 2.6 also known as APN 0138-010-010 & 020), access to Elmira Road will be evaluated and determined at time of the development application.



Figure 2.5: Northwest Commercial Area Concept

PROGRAM + AMENITIES



Figure 2.6: Southwest Commercial Area Concept

chapter 2



LEGAL + PLANNING

3 LEGAL AND PLANNING CONTEXT

- 3.0 Introduction
- 3.1 Legal Context
- 3.2 Planning Context

3.0 INTRODUCTION

A Specific Plan is a planning and regulatory tool made available to local governments by the State of California. By law, Specific Plans are intended to implement a city or county's General Plan through the development of policies, programs and regulations that provide an intermediate level of detail between the General Plan and individual development projects. As a mechanism for the implementation of the goals and policies of a City's General Plan, State law stipulates that Specific Plans can only be adopted or amended if they are consistent with the jurisdiction's adopted General Plan.

chapter 3

3.1 LEGAL CONTEXT

3.1.1 Authority to Prepare

The authority to prepare and adopt Specific Plans and the requirements for its content are set forth in the California Government Code 65450 through 65457. The law requires that a Specific Plan include text and diagrams that specify:

- The distribution, location, and extent of the uses of land, including openspace, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the items listed above.

3.1.2 Purpose and Intent

The Specific Plan provides both general guidelines and specific standards for the development of The Farm at Alamo Creek and sets the parameters for a variety of land uses; thus, the purpose of the Specific Plan is to provide a set of plans, policies, regulation, and implementation programs for guiding and ensuring orderly, future development in accordance with the adopted Land Use Plan within the General Plan.

3.1.3 Environmental Review

The adoption of a Specific Plan is a “project” under the California Environmental Quality Act (CEQA) and the CEQA Guidelines. To meet CEQA requirements, an EIR has been prepared that analyzes the project’s potential significant impacts and proposes mitigation for those impacts to the extent feasible.

Future development phases will be reviewed for consistency with the EIR analysis under CEQA Section 21166. Future phases or changes to the project would be reviewed by the city to determine, under Section 21166, if further environmental review is required. A Supplemental EIR was prepared for the Fields project to consider the environmental impacts of the plan expansion and any changes in circumstances since the plan was initially approved.

3.1.4 Development Agreement

Consistent with City of Vacaville policies and as part of the project approval process, a Development Agreement (DA) will be entered into between project proponents and the City of Vacaville. The DA will address such issues as the Community Benefit Contribution (CBC) and the Planned Growth Ordinance (PGO). Those issues are outside of the scope of this Specific Plan and will not be outlined within the Specific Plan. The Fields amendment does not include a Development Agreement as the exactions requested of the project by the City of Vacaville have all been secured through the tentative subdivision map and land use approvals.

3.1.5 Document Organization

The Specific Plan provides both the conceptual presentation of, and the specific framework for the development of The Farm at Alamo Creek and the amendment to include the Fields. This chapter summarizes the purpose of the document, legal authority, and controlling regulations.

Chapter 1 summarizes the Project’s Vision and the Land Use Goals for the Farm at Alamo Creek Specific Plan. Chapter 2 summarizes the Program and Amenities throughout The Farm at Alamo Creek area. Chapter 4 summarizes the Land Uses, the Development Plan and Standards to be applied throughout The Farm at Alamo Creek area. Chapter 5 discusses the Design Criteria, and Community Design. Chapter 6 provides details regarding the Transportation and Circulation elements within The Farm at Alamo Creek area. Chapter 7 details the Recreation and Open Space elements within the plan area. Chapter 8 provides details related to Public Infrastructure within The Farm at Alamo Creek area.

LEGAL + PLANNING CONTEXT

Chapter 9 details the Community Services and Facilities to be located in the plan area. Chapter 10 discusses Implementation of The Farm at Alamo Creek Specific Plan and the procedures for amending the Specific Plan. The chapter also discusses the development review procedures and the allocation of project costs. The chapter details the Environmental Review required along with Project Phasing, Funding Mechanisms, and Maintenance.

Appendix A details the relationship of the Specific Plan to the 2015 City of Vacaville General Plan. Appendix B details the City Zoning Ordinance in effect at the time of the adoption of this Specific Plan. Changes to the City Zoning Ordinance, after the adoption of this Specific Plan will not be applicable to The Farm at Alamo Creek Specific Plan.

3. 2 PLANNING CONTEXT

3.2.1 Regional Planning Context

The Specific Plan area is located in northern Solano County, in the southeastern corner of the City of Vacaville, as shown in the Vicinity Map in Figure 1.2. Vacaville is at the midpoint between San Francisco and Sacramento along Interstate 80, the major transportation link between these two growing urban areas as shown on the Regional Map Figure 1.1.

3.2.2 Site Planning Context

3.2.2.1 Project Area Description

The Farm at Alamo Creek and the Fields amendment area comprises 244.1 acres and is bounded by Leisure Town Road on the west, Hawkins Road to the north, the PG&E power lines to the east and Elmira Road to the south. Included within the 210.5 acres is a small 1.4-acre remainder on the north side of Hawkins that will result in the realignment of Hawkins Road (See Figure 1.2 Vicinity Map.)

Table 3.1 Parcels and Ownership

APN	Owner	Approximate Area (Ac)
0138-010- (010 & 020)	Robert and Debra Papin	3.7
Portion of 0138-010- (030 & 050)	Vacaville S2 Investors LLC	189.1
	City/County Rights of Way	7.3
	SID	10.4
0138-010-040	G & W Holding LLC	33.6
TOTAL		244.1

Refer to Figure 1.3 for location of parcels noted above.

The property comprises three landowners with developable property, (See Figure 1.3 The Farm at Alamo Creek Ownership Map). Presently, within the subject properties there is one home, and the balance of the property is used mostly for farming (See Figure 1.4 Satellite Photo of the area). The Fields property has no structures, trees, or significant features other than the SID canal which runs parallel with Hawkins Road.

3.2.2.2 Property Ownership

Property Owners within the Specific Plan Area (with Assessors' Parcel Numbers (APN) and property acreage) are listed in Table 3.1.

3.2.3 Planning History

There is little in the way of development history regarding this area. However, conceptual preparations for development of The Farm at Alamo Creek have been in the making since 2004, when the property owners began discussions with the City regarding development of the area and the issues related to an update of the General Plan.

chapter 3

With adoption of the 2015 General Plan, The Farm at Alamo Creek was positioned to begin the planning and entitlement process.

The City has both policy and regulation (resolution and ordinance) limiting the consideration of annexations to every five years as noted below:

General Plan Policy LU-P19.5 states, "Evaluate General Plan amendment requests to convert lands designated as Urban Reserve to other land use designations no more often than every 5 years. Applications to amend the General Plan to convert Urban Reserve lands must be consistent with the City's Municipal Service Review and Comprehensive Annexation Plan."

Vacaville Municipal Code Chapter 14.04.038 establishes the process for considering changing land use designations of urban reserve land. "This process is done in conjunction with the five-year update of the Municipal Service Review as part of the Comprehensive Growth Management Plan. "The evaluation is to be completed within no less than five years after completion of the previous evaluation or General Plan update., ..."

The city adopted its current General Plan in August of 2015, thus opening the process to receive annexation requests prior to August 2020 with city action to consider following this date. The Fields property owners applied for a Merit Hearing in October of 2019, to allow applications to be filed for a single-family residential development. City Council approved the request for Merit Hearing in June of 2021. The next available window for the city to act on received annexation requests is August 2025.

chapter 4

LAND USE

4 LAND USE

- 4.0 Introduction
- 4.1 Land Use Goals

4.0 INTRODUCTION

The Farm at Alamo Creek is designed to provide a variety of residential choices in a walkable, mixed-use configuration, near open space and amenities.

The Land Use Plan (Figure 4.1) encompasses 244.1 acres of farmland, a home site and various rights of way East of Leisure Town Road. The plan organizes the housing around a central core residential “district”, occupied by the denser lots and the Community center. Additional pocket parks are located to the north and to the south of the central district, in close reach from the rest of the neighborhood. A well-developed pedestrian network connects all portions of the neighborhood and incorporates the recreational pedestrian and bicycles trails that follow the banks of the existing creek.

chapter 4

4.1 LAND USE

Wellness, multi-generational social and recreational opportunities, sustainability, and a strong sense of place are the core tenets of the Land Use Plan. These guiding principles are integral to the Land Use Plan illustrated by Figure 4.1, providing the framework for a vibrant mixed-use community. The proposed design maximizes and enhances the preservation of the existing creek, integrating it into the pedestrian and bicycle circulation network. The creek landscape improvements become also part of the entry experience along Camino Arroyo and Carrol Way.

TABLE 4.1 - THE FARM AT ALAMO CREEK LAND USE SUMMARY

Neighborhood	General Plan	Zoning	Approximate Area (Acres)	Approximate Number of Residential Units	Approximate Density (Units/Acre)
1	RLD	R-6	10.8	48	4.4
2	RLMD	RLM-3.6	8	51	6.4
3	CN	CN	4.2		
4	RLMD	RLM-3.6	7.6	44	5.8
5	RLMD	RLM-4.5	8.3	47	5.7
6	RLMD	RLM-4.5	7.5	39	5.2
7	RLMD	RLM-3.6	10.2	69	6.8
8	RLD	RL-5	6.9	34	4.9
9	RMHD	RMHD	2.8	40	14.3
10	RMHD	RMHD	8.8	124	14.1
11	P/INST	CF	1.2		
12	CN	CN	3.2		
13	RMHD	RMHD	1.4	20	14.3
14	P	P	4.7		
15	P	P	2.5		
16	Public OS	OS	4.7		
17	P	P	8.2		
18	P	P	11.2		
19	Public OS	OS	4.4		
20	P/INST	CF	9.6		
21	P/INST	CF	3.8		
22	P/INST	CF	11.4		
23	P/INST	CF	8.2		
24	RLD	RL-5	18.2	90	4.9
25	RLD	RL-6	38.5	162	4.2
26	AB	AG	4.3		
27	RMD	RM	26.4	241	
28	AB	AG	7.2		
TOTAL			244.1	1009	4.1*

* - Approximate Total Gross Density

LAND USE

TABLE 4.2 - RESIDENTIAL LAND USE SUMMARY

4.1.1 Residential Design Standards Unique to the Farm at Alamo Creek

To create a truly unique project within the City of Vacaville, changes were made to the City's Land Use and Development Code. These changes are designed to encourage a more "neighborly" living experience. Traditionally, the fronts of homes are set back at least 20 feet from right of way (27' from the street), "detaching and disengaging" the homes from each other. The Farm at Alamo Creek and Fields front yard set-back, for most of the zoning districts, is 10 feet creating the opportunity for porches and front doors that are closer to the street and more conducive to neighbor interactions and cohesion. And because all the streets within the development have parkway planting strips the setback from the street is 21' compared to 27' in the Land Use and Development Code.

Market studies have repeatedly shown that home buyers tend to pre-fer single story homes. Unfortunately, typical zoning requirements encourage more 2-story homes. Traditionally, rear yard setbacks and lot coverage requirements are the same for 1 and 2 story homes. Under that scenario, house construction economics dictate that 2-story units are more viable and sustainable. To enhance the economic viability of 1-story homes within The Farm at Alamo Creek development, the rear yard minimum setbacks are reduced, and the maximum lot coverage requirement is increased for single story homes.

It is expected that each home builder within The Farm at Alamo Creek will develop an architectural theme for each neighborhood they develop. The architectural theme for the neighborhood, along with the floor plans and elevations for the houses will require Design Review approval by the City of Vacaville Planning Department staff and the Planning Commission. The process for Design Review approval typically takes 3-4 months.

	Land Use	Approximate Area (acres)	Approximate Units	Approximate Percentages
Low Density	RLD	74.4	334	33%
Low-Medium Density	RLMD	41.6	250	25%
Medium density	RMD	26.4	241	24%
Medium High Density	RMHD	13	184	18%
TOTALS		155.4	1009	100%

*- Area excludes public facilities, commercial, detention basin/pond and parks

To provide for more creativity in the design of 2-story homes, a slight increase in maximum lot coverage has been included within the Specific Plan. This increase allows for the construction of "California Rooms" and other outdoor living spaces which are traditionally difficult to include with reduced lot coverage maximums. Table 4.2 shows the breakdown of residential units by General Plan category. The plan complies with the intent to emphasize high density and moderate density housing.

Lastly, the City's Land Use and Development Code does not adequately address the unique characteristics inherent with duet units. These homes share a common wall with the home next door and provide a wonderful opportunity for a more affordable housing experience. These units are located within two areas of The Farm at Alamo Creek which contain significant open space amenities. The first duet area is bracketed by the pool/ clubhouse on the west and 2 private parks on the east end. The other duet area is bounded by Alamo Creek trails on the north and east and is close to the detention basin/maintenance access road. With the abundance of open space opportunities, the need for private open space is reduced. Table 4.3 details the required specifications for the duet units with the above in mind. Figures 4.3.1 through 4.3.6 are provided to clarify the standards detailed in Table 4.3.

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THE FARM
AT ALAMO CREEK

PROPOSED LAND USE
FIGURE 4.1

REV 08-02-23 08-11-2022

LAND USE



THE FARM
AT ALAMO CREEK

PROPOSED ZONING
FIGURE 4.2

REV 08-02-23 08-11-2022

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TABLE 4.3 - RESIDENTIAL DISTRICTS MINIMUM DEVELOPMENT STANDARDS

Zoning District	Density	Standards Indicator	Min. Lot Area (SF)	Min. Lot Width (ft.)	Min. Lot Width Corner Lots (ft.)	Min. Lot Depth (ft.) (See Note 2)	Min. Front Yard (ft.) (See Note 3)	Min. Side Yard (ft.) (See Note 4)	Min. Side Yard – Street Side (ft.) (See Note 5)	Min. Rear Yard (ft.) (See Note 6)	Min. Site Frontage on a Public Street (ft.) (See Note 7)	Min. Distance Between Homes (ft.)	Max. Site Coverage (%) (See Note 8)	Min. Private Open Space (SF) (See Note 9)	Max. Building Height (ft.) (See Note 10)
										1story/ 2story			1story/ 2story	1story/ 2story	
RL	3.1 – 5.0	10	10,000	80	90	100	20	10	15	20/25	40	15	55/45	1600/ 2000	30
		8	8,000	70	80	100	10	10 & 5	15	15/20	40	15	55/45	1050/ 1400	30
		6	6,000	60	65	95	10	5 & 5	15	15/20	40	10	55/45	900/ 1200	30
		5	5,000	50	55	90	10	5 & 5	10	15/20	40	10	55/45	750/ 1000	30
RLM	5.1 – 8.0	4.5	4,500	45	50	70	10	5 & 5	10	10/15	40	10	55/45	450/ 675	30
		3.6	3,600	40	45	60	10	5 & 5	10	10/15	40	10	55/45	400/ 600	30
RM	8.1 -14	3.6	3,600	40	45	60	10	5 & 5	10	10/15	40	10	55/45	400/ 600	30
		Duets	2,000	27	31	90	10	0 & 4	10	10/10	26	8	50/50	260/260	40
RMH	14.1 – 20.0	Duets	2000	27	31	75	10	0 & 4	9	10/10	26	0 & 8	50/50	260/ 260	40

FOOTNOTES TO TABLE 4.3

- (1) Because living spaces and porches are encouraged to be closer to the front sidewalk within The Farm at Alamo Creek Specific Plan area, and because in all cases the garages will be a minimum of 20' from the back of sidewalks, alternative housing configurations are not required. Also, to maximize flexibility, one-story houses are NOT required within the RLM and RMH Zoning Districts. To encourage 1 story homes, minimum rear yard and side yard setbacks are reduced and maximum lot coverage requirements are increased. The minimum rear yard setback adjacent to an arterial street, for all zoning districts is 40' and shall be measured from the face of curb for the arterial.
- (2) Lot depth is measured from back of curb.
- (3) Front Yard -Front yard setback is measured from back of sidewalk. In all districts, the front yard setback has been reduced from the Zoning Ordinance. If the builder chooses to utilize this reduced front yard setback, the homes with a setback from 10-15 feet shall have a strong pedestrian entrance which could include any, or all, of the following elements: enhanced front door, porch, cover, and walkways to emphasize this front entrance.
- a. Exterior accessibility retrofitting for reasonable accommodations for single-family detached units shall be subject to administrative design review and shall be permitted in setback areas when compliant with the Americans with Disabilities Act design guidelines.

(4) Side Yard.
a. Architectural features such as sills, cornices, and eaves may extend into the required side yard or a space between structures up to two feet. Chimneys may extend into the required side yard or a space between structures up to two and one-half feet.
b. Exterior accessibility retrofitting for reasonable accommodations for single-family detached units shall be subject to administrative design review and shall be permitted in setback areas when compliant with the Americans with Disabilities Act design guidelines.
c. In the RLM district, garages located in the rear portion of the yard may be zero lot line.
(5) Side Yard/Street Side.
a. The minimum setback to a garage door shall be 20 feet measured from back of sidewalk.
b. Exterior accessibility retrofitting for reasonable accommodations for single-family detached units shall be subject to administrative design review and shall be permitted in setback areas when compliant with the Americans with Disabilities Act design guidelines.
(6) Rear Yard.
a. On a reversed corner lot, the minimum rear yard may be not less than the minimum side yard for the district; provided, that the side yard adjoining the street shall be not less than the required front yard of the adjoining key lot.
b. In the RLM-4.5 and RLM-3.6 districts, the required rear yard may be reduced to 10 feet if an average setback of 15 feet is provided.
c. Architectural features such as sills, chimneys, cornices, and eaves may extend into the required rear yard up to six feet.
d. In the RLM district, garages located in the rear portion of the yard may be zero lot line.
e. If the garage is located in the rear yard as an alternative configuration design, the rear yard setback and coverage standards may be adjusted through a planned development.
f. Attached, unenclosed patio covers and enclosed solarium rooms may be located in the required rear yard; provided, that they shall be at least 10 feet from the rear property line. If enclosed on more than one side, the area of the structure in the required rear yard shall be included as part of the rear yard coverage regulations. Enclosed solarium rooms shall be entirely enclosed in clear material such as glass or plexiglass except for the side or sides attached to the main structure.
g. On a reversed corner lot, the minimum rear yard may be not less than the minimum side yard for the district; provided, that the side yard adjoining the street shall be not less than the required front yard of the adjoining key lot. (Ord. 1574, §11, 1997; Ord. 1564, §9, 1996)
(7) The minimum site frontage for a corridor access lot shall be 30 feet. The minimum site frontage for duet lots shall include both paired duet lots.
(8) There is no maximum site coverage for one-story homes in any of the zoning districts. The maximum site coverage shown is for 2-story homes only. In the RMH district, there is no maximum site coverage.
(9) Private open space area includes areas to the side or rear of the main structure with a minimum 15 feet width and depth. It includes areas with play equipment, pools, and decks, but not buildings.
(10) Homes in the RMH district may be 3 stories in height.

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4.1.2 Commercial Design Standards

As with the residential neighborhoods, the developers of the two neighborhood commercial sites will propose an architectural theme for the development of their project. The architectural theme for the site, along with the floor plans and elevations for the buildings will require a Design Review approval by the City of Vacaville Planning Department staff and the Planning Commission. The process for Design Review approval typically takes 3-4 months.

The development standards for these neighborhood commercial areas are detailed in Table 4.4. It should be noted that the minimum parking requirement for these parcels is 1 parking space for every 250 feet of gross floor area regardless of the proposed use. The intent of these neighborhood centers is to serve the local residents and it is expected and encouraged that those patronizing the shops will walk or bike from their homes thus reducing the need for excessive parking.

TABLE 4.4 - NEIGHBORHOOD COMMERCIAL DISTRICT MINIMUM DEVELOPMENT STANDARDS

Zoning District	Max. Floor Area Ratio (FAR)	Min. Site Area (acres)	Min. Site Width (ft.)	Min. Yard Adjoining A Street (ft.)	Min. Yard Adjoining An R District (ft.)	Min. Number of Parking Stalls Required Per 1,000 SF of Gross Building Floor Area	Min. Yard Not Adjoining A Street, R District, Alley, or Freeway ROW (ft.)	Max. Building Height (ft.)
CN	0.3	3	None	20	30	4	None	30

CN: Neighborhood Commercial

4.1.3 Residential Building Standards

The standards for building height and front, rear and side yard setbacks set forth in this Specific Plan are consistent with the City of Vacaville Land Use and Development Code except as noted in Table 4.3. (See also Figures 4.3.1 through 4.3.6 for additional notes and details.)

In addition to the above exceptions, as mentioned previously, one-story homes shall not be required for lots zoned RLM-3.6 or RMH. Also, variety in roofing material is encouraged. Builders will not be limited to only using concrete tile or Spanish tile roof material. Architectural comp is permissible. Roofing material shall complement the design of the home.

In the Land Use and Development Code front yard setbacks are measured from the road right of way which is typically 7 feet from the front face of curb for residential streets. The Farm at Alamo Creek and Fields proposes that all streets have planted parkways along the front of the homes and therefore the measurements for front yards setbacks are different than the Code. Figures 4.3.1 through 4.3.6 are provided to clarify the above exceptions and to designate where the setback measurements are to be taken. The figures also detail minimum setbacks, lot area, lot coverage and other key features.

4.1.4 Parking Standards

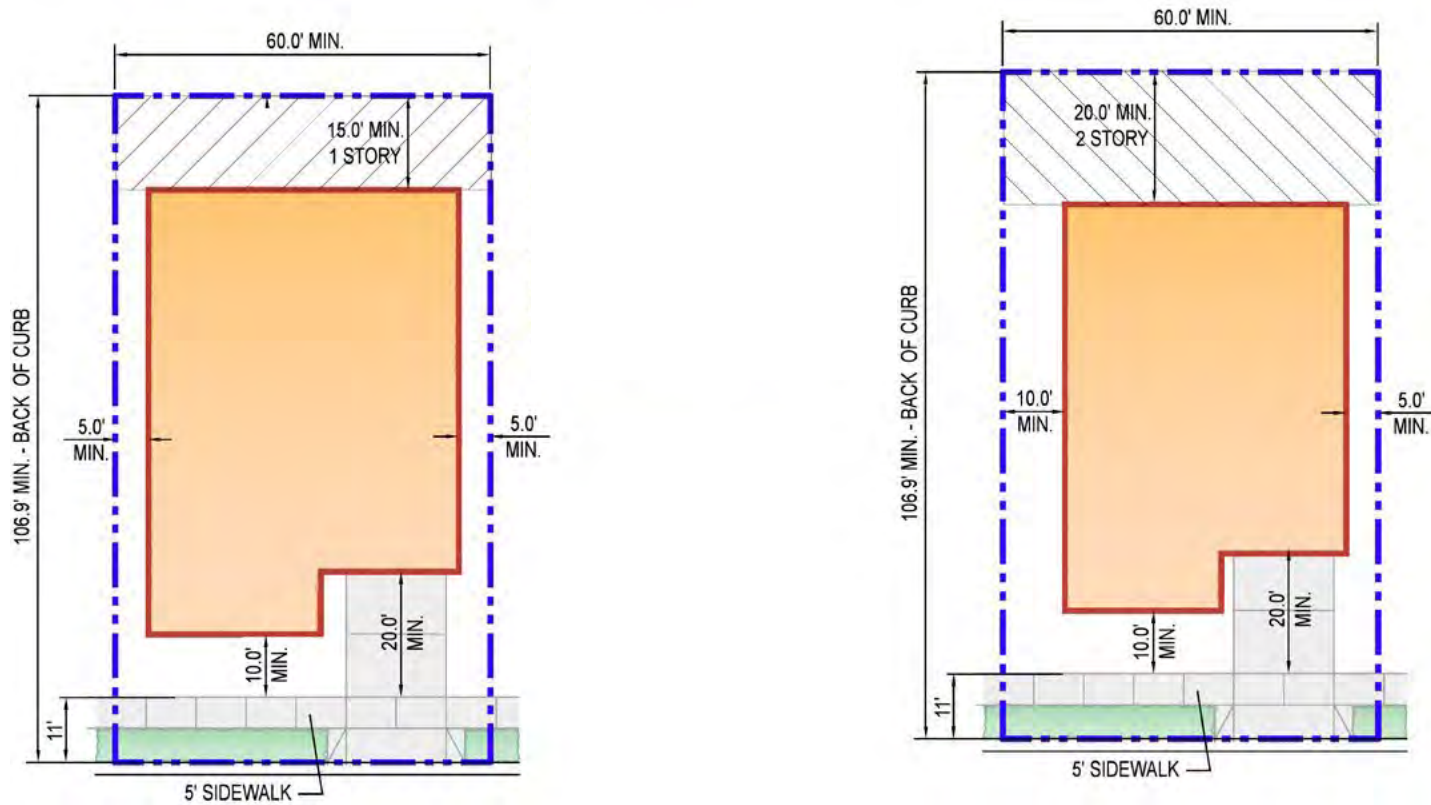
Parking is provided consistent with City of Vacaville Land Use and Development Code, Chapter 14.09.128. Except as noted below, for this Specific Plan, the maximum parking required for single family homes is 3; 2 in the garage and 1 on the public street.

For the Neighborhood Commercial parcels, the maximum required parking is 1 space for every 250 SF of gross building floor area, regardless of the use.

4.1.5 Other Development Standards

For Development Standards not specifically mentioned in this Specific Plan, refer to Chapter 14.09 Zoning in the City of Vacaville Land Use and Development Code and the City's Residential Design Requirements for New Single-Family Development.

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LOT AREA: 6,414 SF

1-STORY
 MAX. LOT COVERAGE=55%
 MIN. REAR YARD=900 SF

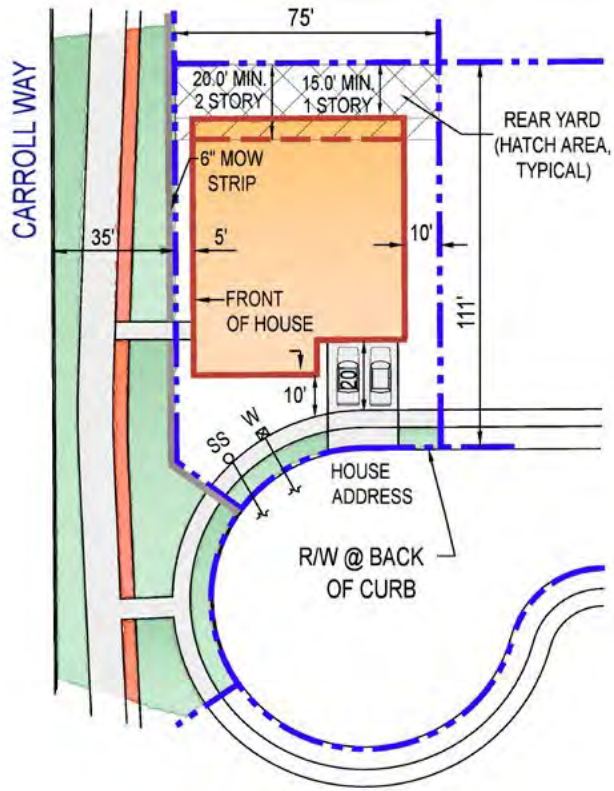
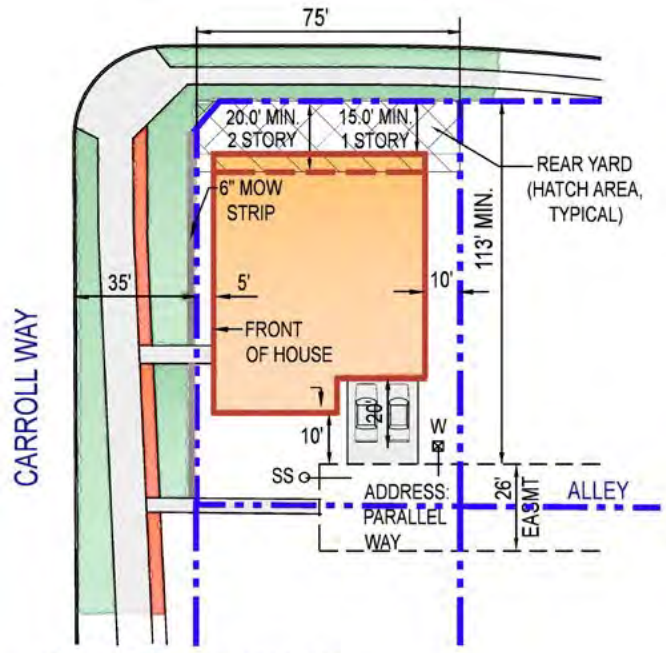
2-STORY
 MAX. LOT COVERAGE=45%
 MIN. REAR YARD=1,200 SF

MINIMUM SIDEYARD SETBACKS:

2-STORY
 5' ONE SIDE
 10' ON THE OTHER SIDE
 15' BETWEEN STRUCTURES

1-STORY
 5' ONE SIDE
 5' ON THE OTHER SIDE
 10' BETWEEN STRUCTURES

Figure 4.3.1: RL - 6: Neighborhoods



MINIMUM SIDEYARD SETBACKS:
 5' FACING CARROLL WAY
 10' ON THE OTHER SIDE
 15' BETWEEN STRUCTURES

LOT AREA=7,460 SF

1- STORY
 MAX. LOT COVERAGE=55%
 MIN. REAR YARD=900SF

2- STORY
 MAX. LOT COVERAGE=45%
 MIN. REAR YARD=1,200 SF

MINIMUM SIDEYARD SETBACKS:
 5' FACING CARROLL WAY
 10' ON THE OTHER SIDE
 15' BETWEEN STRUCTURES

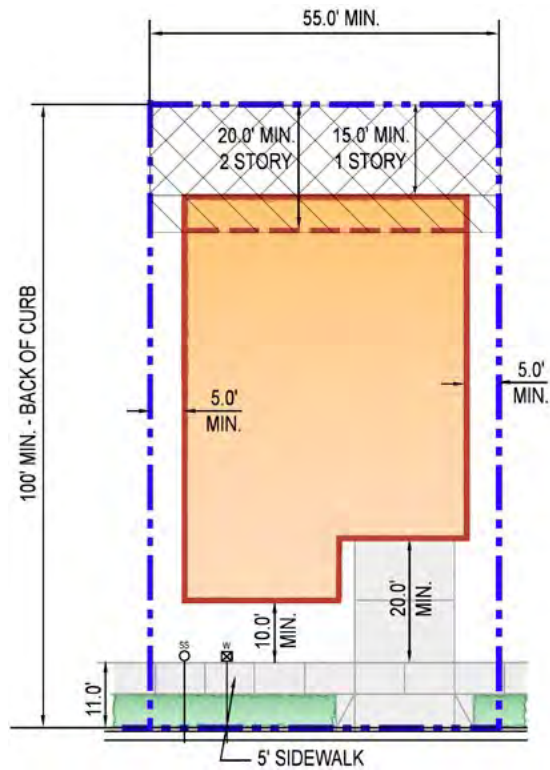
LOT AREA=8,720 SF

1-STORY
 MAX. LOT COVERAGE=55%
 MIN REAR YARD=900SF

2-STORY
 MAX. LOT COVERAGE=45%

Figure 4.3.1.1: RL- 6: Neighborhoods Facing Carroll

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MINIMUM SIDEYARD SETBACKS:
5' ONE SIDE
5' ON THE OTHER SIDE
10' BETWEEN STRUCTURES

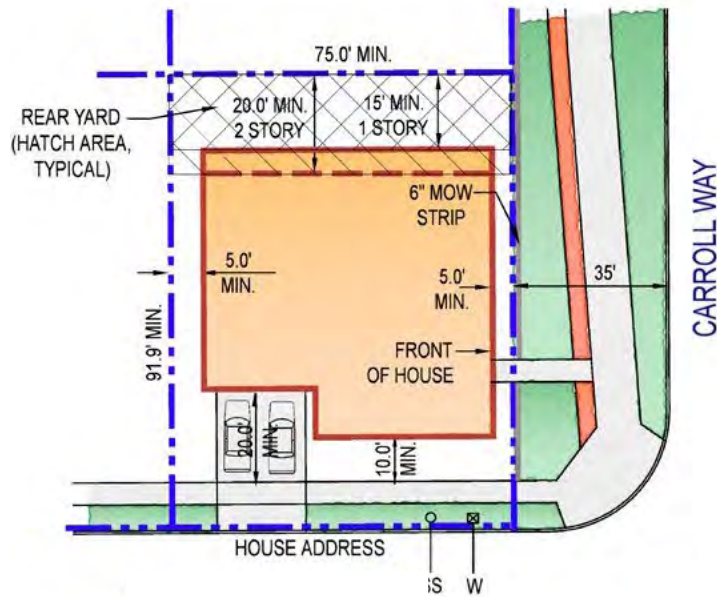
LOT AREA - 5,500 SF

1- STORY
MAX. LOT COVERAGE=55%
MIN. REAR YARD AREA =750 SF

2- STORY
MAX. LOT COVERAGE=45%
MIN. REAR YARD AREA =1,000 SF

Figure 4.3.2: RL-5(55' Wide): Neighborhood

Figure 4.3.2.1: Side Loaded Neighborhood



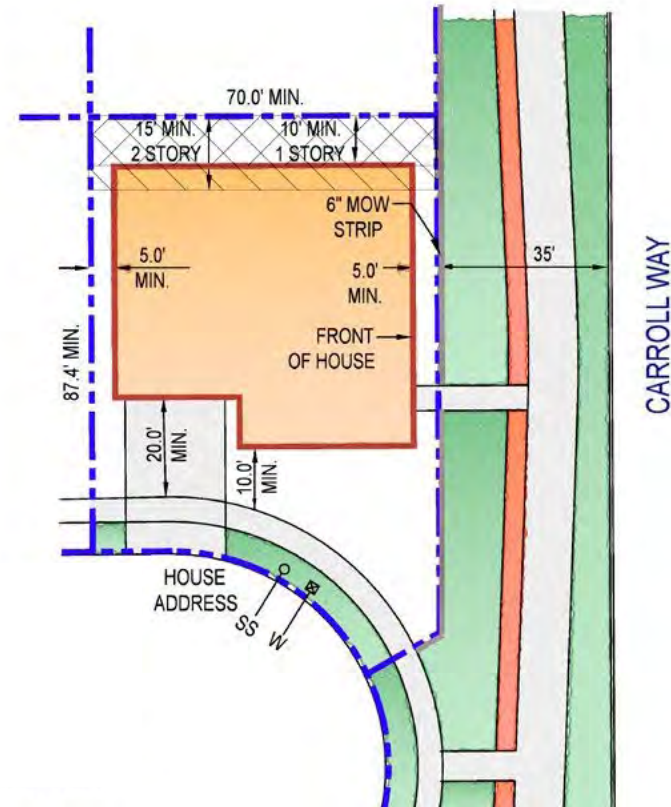
NEIGHBORHOOD RL-5(55' WIDE)

MINIMUM SIDEYARD SETBACKS:
 5' ONE SIDE
 5' ON THE OTHER SIDE
 10' BETWEEN STRUCTURES

LOT AREA=7,000 SF

1- STORY
 MAX. LOT COVERAGE=55%
 MIN. REAR YARD AREA =750 SF

2- STORY
 MAX. LOT COVERAGE=45%
 MIN. REAR YARD AREA =1,000SF



NEIGHBORHOOD RL-3.6

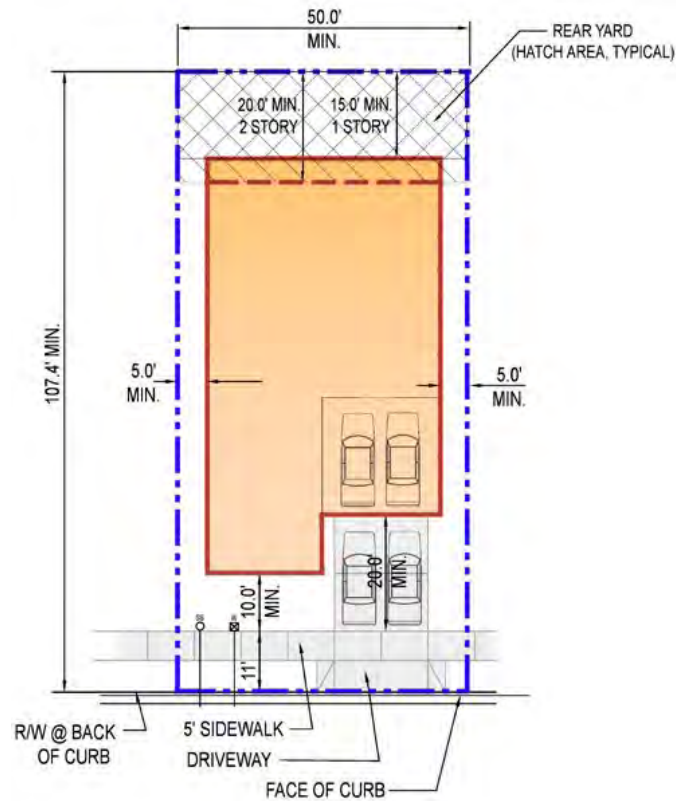
MINIMUM SIDEYARD SETBACKS:
 5' ONE SIDE
 5' ON THE OTHER SIDE
 10' BETWEEN STRUCTURES

LOT AREA=6,700 SF

1- STORY
 MAX. LOT COVERAGE=55%
 MIN. REAR YARD AREA =750 SF

2- STORY
 MAX. LOT COVERAGE=45%
 MIN. R

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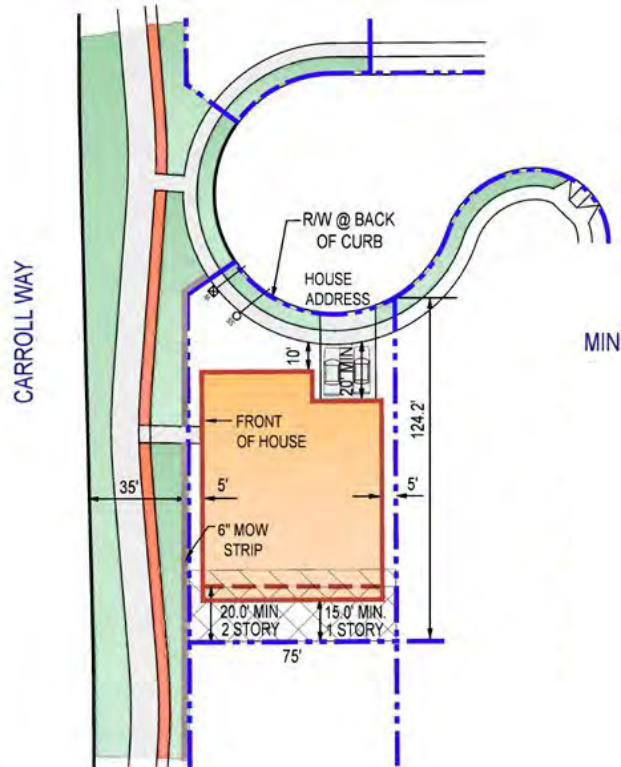
MINIMUM SIDEYARD SETBACKS:
 5' ONE SIDE
 5' ON THE OTHER SIDE
 10' BETWEEN STRUCTURES

LOT AREA = 5,370 SF

1- STORY
 MAX. LOT COVERAGE=55%
 MIN. REAR YARD AREA=750 SF

2- STORY
 MAX. LOT COVERAGE=45%

Figure 4.3.3: RL-5(50' Wide): Neighborhood



MINIMUM SIDEYARD SETBACKS:

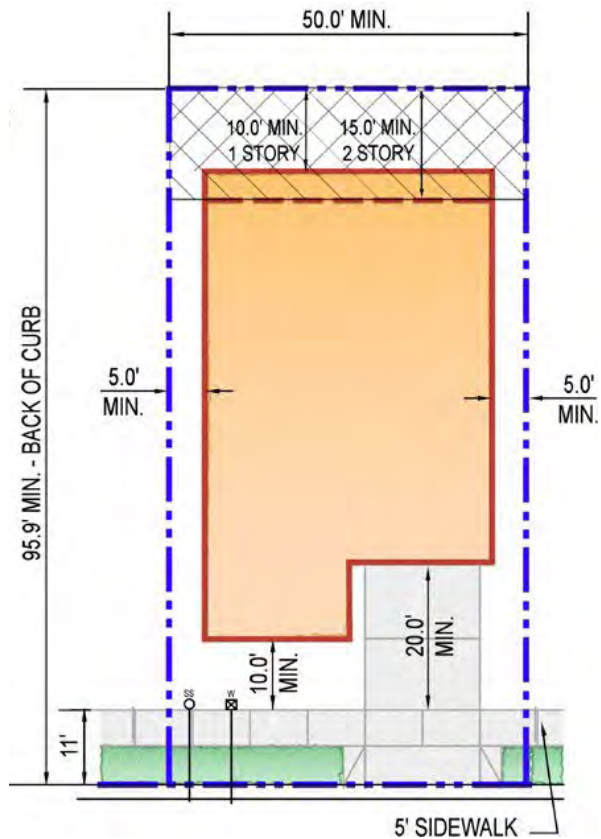
- 5' ONE SIDE
- 5' ON THE OTHER SIDE
- 10' BETWEEN STRUCTURES

LOT AREA = 9,350 SF

- 1- STORY
MAX. LOT COVERAGE=55%
MIN. REAR YARD AREA=750 SF
- 2- STORY
MAX. LOT COVERAGE=45%

Figure 4.3.3.1: RL-5(50' Wide): Neighborhood

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MINIMUM SIDEYARD SETBACKS:

- 5' ONE SIDE
- 5' ON THE OTHER SIDE
- 10' BETWEEN STRUCTURES

LOT AREA=4,795 SF

- 1- STORY
MAX. LOT COVERAGE=55%
MIN. REAR YARD AREA =450 SF
- 2- STORY
MAX. LOT COVERAGE=45%
MIN. REAR YARD AREA =675 SF

Figure 4.3.4: RLM-4.5: Neighborhood

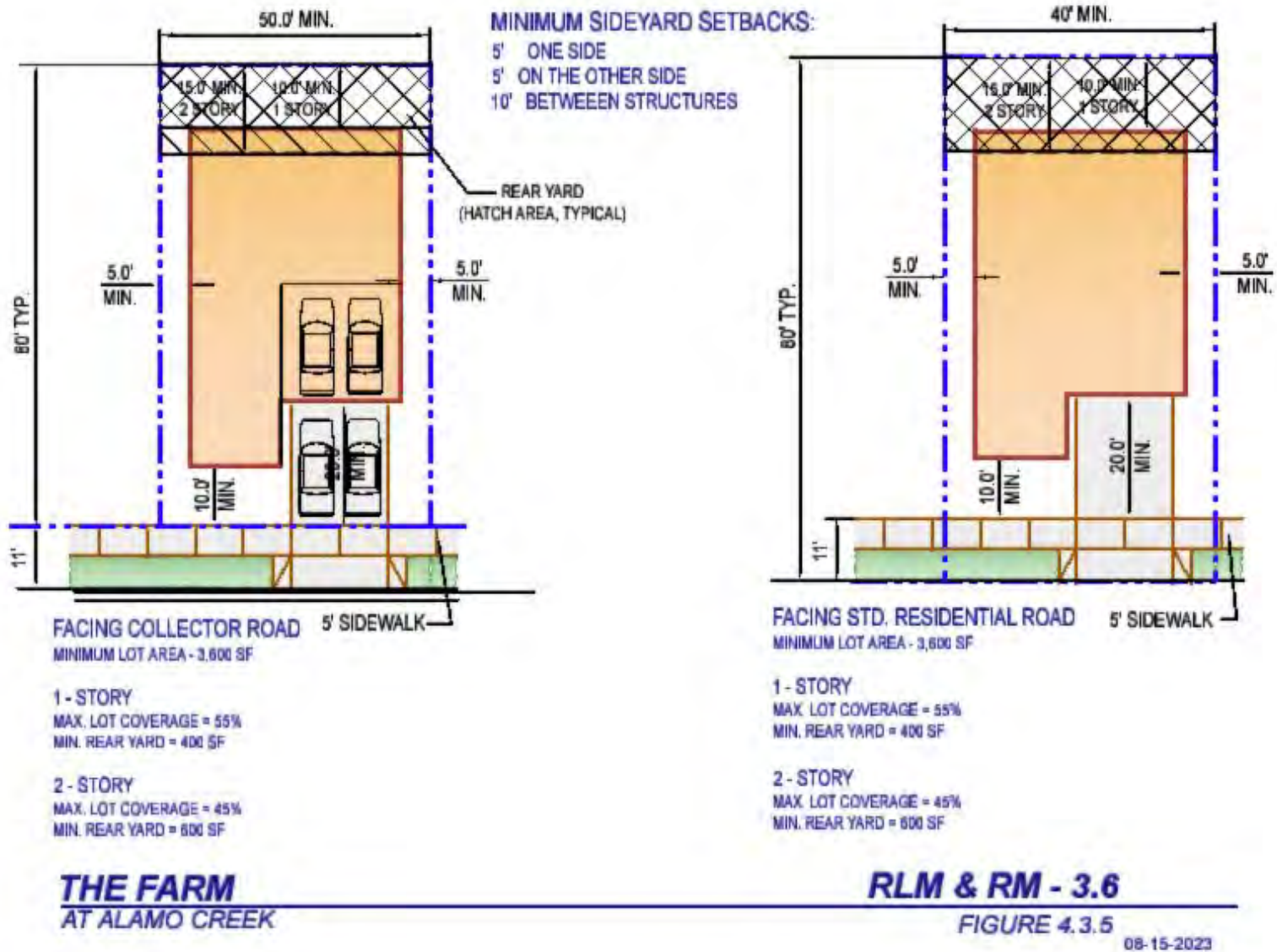
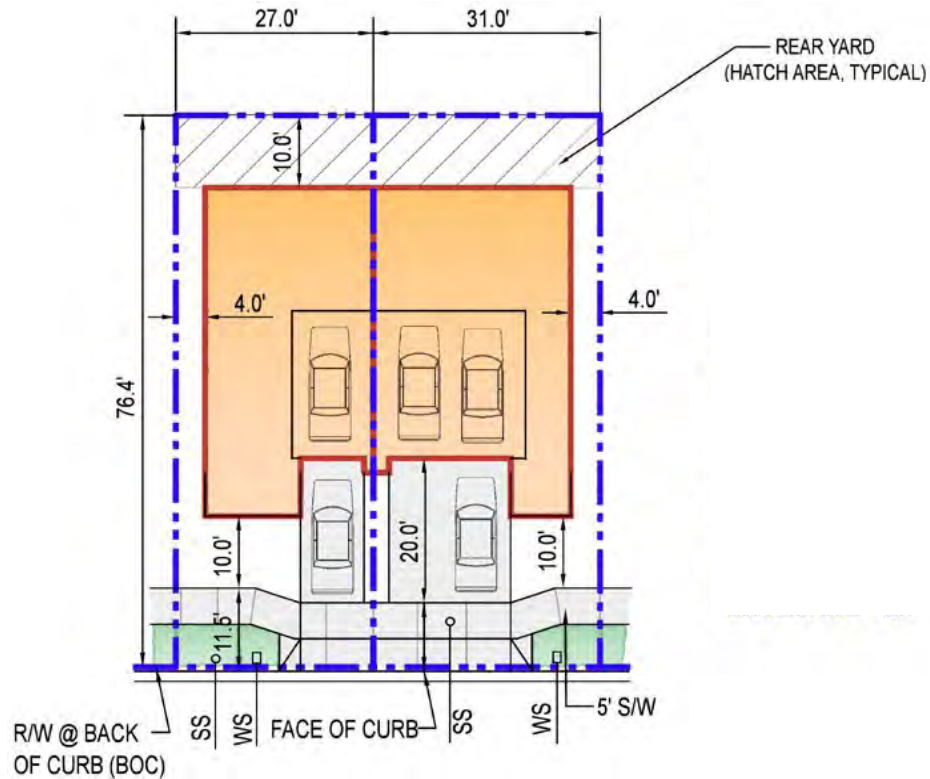


Figure 4.3.5: RLM and RM -3.6: Neighborhoods

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MINIMUM SIDEYARD SETBACKS:
 4' ON SIDE
 0' ON THE OTHER SIDE (DUET)

LOT AREA
 31' WIDE LOT=2,368 SF
 27' WIDE LOT =2,063 SF

31' WIDE LOT
 MAX. LOT COVERAGE=50%
 MIN. REAR YARD AREA =260 SF

27' WIDE LOT
 MAX. LOT COVERAGE=50%
 MIN. REAR YARD AREA =260 SF

Figure 4.3.6: RMH and RM

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DESIGN CRITERIA

5 DESIGN CRITERIA

5.0 Introduction

5.1 Architecture Design

5.2 Community Design

5.0 INTRODUCTION

A variety of distinct housing types, architectural elements and diverse streetscapes are the defining characteristic of enduring landmark neighborhoods.

The Farm at Alamo Creek **and Fields** will provide a variety of distinct housing types interconnected by tree-lined walkable streets and open spaces. While it is important to establish a consistent design theme throughout the architectural elements of the neighborhood (walls, monuments, furniture), eclectic and diverse streetscapes are the defining characteristic of enduring landmark neighborhoods.

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5.1 ARCHITECTURE

A certain number of architectural styles will be required which will be applied based on appropriate massing (ex, some styles are clearly more appropriate for a certain number of stories). Massing will need to be appropriate and authentic to the architectural style.

- Architectural Styles: Certain neighborhoods will benefit from a greater number of architectural styles and elevations per floor plan, whereas others may require a more cohesive palette. This selective architectural style criteria will enhance the eclectic nature and variety of the streetscape. Master home plans are defined as unique floor plans with a distinct footprint with regard to placement and relationship of garage, front door, and building mass. Higher density products (for example at the center of the community) will benefit from a “village” concept, exhibiting less variety in their architectural motifs. In this case the eclectic streetscape is achieved through color and material changes and a playful use of massing and articulation. Individual dwelling units shall be designed at time of development by the builder and are subject to review and approval by the Planning Commission. It is intended that each neighborhood will have a distinct architectural theme. The theme will be incorporated throughout the neighborhood including but not limited to housing architectural elements, entrance monuments, and landscaping. Home design will integrate principles of universal design, sustainability, and visibility. Roofs design and articulation shall be compatible with the architectural design of the home and may include enhanced architectural comp, concrete, or Spanish tile.

- Homes should all have a strong pedestrian presence from the street with an emphasis on the entrance. Clear views to the front door, porches, covers and direct walkways will emphasize this relationship.



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- **Hierarchy and Repetition:** In general, avoiding repetition of identical floor plans or architectural styles is important to create a sense that a neighborhood has been built over time. The continuation of style-specific architectural elements from the front façade around to the side and rear elevations creates an authentic architectural statement. Blank, unadorned faces are never permitted, and a certain, minimum, amount of details is required to reflect a unified architectural treatment. Hierarchy of treatment should be based on location, function, and level of pedestrian interaction. Home sites that are highly visible warrant special attention to any visible building faces to present an authentic and cohesive appearance. Unique entry and garage configurations are encouraged to give the effect of creating “two fronts” to a home and address both streets.

- **Yards and Windows:** Side yards offer a unique opportunity for private outdoor space that can easily be overlooked when not planned thoughtfully. To promote utilization of these spaces it is effective to designate active and passive sides to each home. The active side of a home will be identified as having more and larger windows and the most usable outdoor space. The passive side has fewer, smaller, and often higher windows to promote privacy for the adjacent neighbor’s active side. This creates a functional relationship between homes and helps create an enhanced living environment. Sheds and accessory structures are discouraged in the small rear yards.

- **Garages:** Reducing garage dominance on the streetscape and bringing living space closer to the street creates street scenes that are inviting and safe. Using design techniques that enhance a home’s architectural style and relegating the garage to a less visible position promotes a more pedestrian oriented neighborhood.



chapter 5



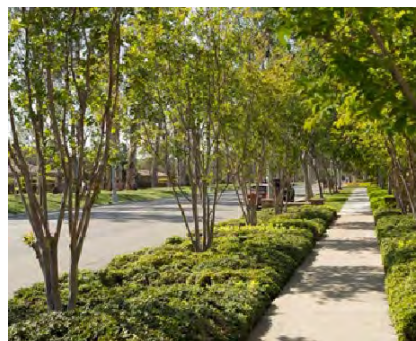
DESIGN CRITERIA

5.2 COMMUNITY DESIGN

The Farm at Alamo Creek **and Fields** will be a park-oriented community that emphasizes wellness through the establishment of a comprehensive open space and recreational system in close proximity to all residents in the neighborhood. All open space areas will incorporate ways of finding signage, furniture, defined seating areas, areas suitable for water quality treatment features and swales, and overall, they will create an inviting and safe environment. As part of Phase 1, a community wide plan for common elements will be prepared. The plan will include definition of furnishings, entry treatments and monuments, special signage and/or lighting or other elements intended to unify the Farm at Alamo Creek as a whole. Within this framework, each phase or sub-neighborhood will be encouraged to provide a diversity of architectural styles, site furnishings or area-specific treatments.

5.2.1 Community Design Theme

The design approach focuses on the creation of a community with a compelling sense of place, a high level of pedestrian and bicycle access and circulation, an enduring public realm, and a strong connection to/compatibility with the surrounding natural and agrarian environment. Over 49.5 acres of the community are planned and devoted to open space features, including



the community park, the three pocket parks, the Old Alamo Creek open space extending to the new detention pond, the "Play 4 All" Park, buffers, trails, and trails to reinforce the agricultural context. Site furnishings, planting design, major community landscape elements, and sustainable measures and features play an essential role in defining the identity of the community.

5.2.2 Paving and Hardscape

Paving surfaces and hardscape design should complement the design scheme of pedestrian-oriented spaces. The use of color, texture and material adds to the visual interest of pedestrian spaces, particularly in public gathering areas. Visual appeal should be balanced with functionality, ease of maintenance, durability and incorporate materials that provide for on-site stormwater retention and/or contribute to groundwater recharge. Paving surfaces on street accessed residential lots should be limited to the driveway, walkways, and patios.



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5.2.3 Site Furnishings and Material

Site furniture adds a level of detail and design that enlivens public spaces and provides opportunities for people to gather and interact. Correctly placed and well-designed site amenities enhance the usability and appearance of community spaces including parks, trails, transit stops, streets plazas, and building entries.

Seating, tables, bollards, bicycle racks, trash receptacles, flagpoles, lighting standards and tree grates should be considered as part of the site design and as comprehensive family of visual elements with the goal of creating a cohesive yet eclectic palette. Site furniture should be compatible in size, design, color, with the surrounding architecture and landscape design, without dominating the landscape. Furnishing should be designed and selected for safety, ease of maintenance and re- placement. A variety of seating types should be provided for different public spaces, seat walls and movable seating. Seating should be coordinated with shade trees and or shade structures. Public art is encouraged to be incorporated into the project site design in a variety of ways such as street furniture, play equipment, signage, and sculptures. Bike racks should be located throughout the neighborhood at parks, trail heads, group seating areas. Covered bike parking should be provided at key destinations.

Any improvements within City owned property, (parks, open space, landscape corridors, etc.) or ROW are subject to review and approval by the Public Works Department. Any amenity within the public right of way shall be included in the Lighting and landscape District to provide maintenance of said amenity.



5.2.4 Signage

In general, signs should be utilized only where necessary within the residential portions of the neighborhood and in an understated manner, emphasizing an attractive image of permanence and quality; however, signs should offer adequate visibility and reflectivity, where appropriate, to provide safety and orientation at night.

All free-standing signs along streets and common access drives should be designed as a 'family' of signs, consistent with the architectural style or related projects or neighborhoods. Signs are to be free of all labels and fabricator advertising as required by applicable code. Street identification signs and traffic control signs may be mounted on light poles to integrate these elements and minimize the number of poles.

5.2.5 Entry Features

Neighborhood entry signs may be integrated into stone or masonry entry monuments, walls, or pylons occurring at entries (see Figure 3.4). Lettering should consist of surface mounted letters or an inset panel of contrasting material with incised letters. Monumental signage should be complementary to the prevailing architectural style of the adjacent neighborhood.

5.2.6 Fences and Walls

In general perimeter walls and fences are to be minimized to the greatest extent possible. To reduce their visual prominence, walls and fences should be used in combination with trees, vines, shrubs, and hedges. Walls and fences should also generally consist of a 'family' of elements, similar in style and materials, used in a consistent manner throughout the neighborhood. In general fencing should be designed to be natural-appearing and durable, compatible with neighborhood character and reflective of the agricultural theme of the neighborhood. Fencing adjacent to open space shall be constructed of non-combustible materials.

DESIGN CRITERIA

High masonry walls should be avoided, and fencing should be permeable to allow visual access. Fences and walls inside the neighborhood are intended to distinguish project areas while creating a welcoming appearance that encourages and controls pedestrian movement between residential and public use areas. Design of public fences should be compatible with the building architecture. Fences should be of durable construction and should present a “finished” appearance from adjacent properties. When used, front yard fencing may consist of fencing or walls, with a maximum height of 3 feet, located a minimum of 3 feet from the sidewalk. Materials should be limited to stone, masonry, or finished wood product and should be in combination with a hedge or shrub from the approved planting palette. On corner lots, front yard fencing should be continuous along the front and side property line along a street. For corner lots, side yard fencing along street frontages should be located a minimum of 4 feet from the sidewalk and expose as much of the house facade as feasible. For masonry walls, pilasters shall be located at angle points and transitions. Wall pilasters need not be closer than 30 feet on center.



5.2.7 Lighting

In general, lighting will be designed to minimize light levels for any given application and to direct the lighting onto the high use areas or objects to be lighted. Low-level, pedestrian scale fixtures should be utilized to the degree possible. High efficiency fixtures are encouraged to direct light where it is needed to avoid excessive glare and reduce impact upon night sky and open space. Lighting should be designed to differentiate use areas, emphasize neighborhood amenities, provide continuity along street corridors, and promote the safety of residents and users.

Lighting fixtures are an important part of neighborhood's image. Use of ornamental, pedestrian scale pole lights is encouraged for local street lighting, with optics and shields that direct the light to the ground.

Lighting should generally occur at intersections and areas of pedestrian activity and building entries and should be minimized elsewhere. No lighting should blink, flash, or be of unusually high intensity or brightness. All streetlights should be equipped with cut-off shields to minimize visibility from adjacent areas of the community and public use areas. The parking lot lights should be no higher than necessary to provide efficient lighting of the area and should not exceed 28 feet, including the base.

Landscape lighting should be limited to important landscape areas, entry and sign features, public parks, or pedestrian use areas. Light fixtures should be hidden from direct view and the light source should be shielded from view at night. Landscape light fixtures should be durable and easily maintained. Building mounted fixtures may be utilized as long as the fixtures are scaled appropriately for their location on the building and the light source is completely shielded from view. Off-street trail systems and pedestrian shortcuts should utilize low level lighting sources such as lighted bollards or other comparable solutions.

All outdoor site lighting fixtures shall be bi-level LED, which will reduce the demand for electricity. Developer shall incorporate City standard light fixtures. All proposed lighting that does not meet City of Vacaville Standards shall be reviewed and will need to be approved by the Public Works Department.

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5.2.8 Planting Design

The landscape design for the Farm at Alamo Creek will emphasize drought tolerant, native, and edible landscaping, providing abundant trees for beauty, definition of spaces and habitat enhancement (See Plant List). Attractive and shaded streets, parks, buffers, and trails will establish a strong community character and quality living environments, both in the near future and in the long term.

Plant material should be selected from an established palette with an emphasis on native plants (see Plant List). The established planting palette is not intended to be exhaustive but to provide a clear guide for selection. Additional plants may be used that are compatible with this palette and are consistent with the intent of these guidelines. Planting design should consider year-round interest and seasonal character through the careful use of flower and leaf color.

Landscape design should provide effective screening of parking areas, retaining walls, utility enclosures, service areas. Screen landscaping should incorporate evergreen plant species to maintain year-round leaf cover.

Plant selection should avoid the use of tree species with invasive root systems near utility lines and paving and avoid the use of invasive species. Street trees should be planted in parkway strips between the curb and the sidewalks with drought tolerant shrubs and ground covers. Trees shall be located such that any fruit dropping shall not fall within City maintained property of right of way.



Tree planting location and species should consider the need to preserve solar access, views, and fire safety requirements.

Turf should be limited to parks and other active uses. Low groundcover and native grasses should be used as an alternative to turf wherever possible.

Planting design should be designed to maximize energy conservation, including planting deciduous trees next to buildings and along streets to reduce ambient temperatures, reduce heat gain, allow for cooler natural ventilation, and provide a more pleasant pedestrian environment. Trees with appropriate heights and spreads will be selected to provide ample shade in the summer months for outdoor spaces such as patios, plazas, pedestrian walkways, roadways, and parking lots.

In addition to required street trees, each detached home should include a minimum of one fruit tree located within the private front yard area. To avoid a disjoint appearance between streets and individual yards, planting themes should be provided by the developers for each phase within the neighborhood. Trees shall be located such that fruit droppings shall not fall within the City maintained property or right-of-way.

Note: Within the public ROW and City maintained areas the below are not allowed. All other planting within public ROW and City maintained areas shall be reviewed and approved by Public Works.

- Ornamental Trees
- albizia julibrissin (mimosa)
- magnolia virginiana (sweet bay magnolia)
- pyrus calleryana ('aristocrat' and 'new bradford' flowering pear)

DESIGN CRITERIA

5.2.9 Edible and Agricultural Landscape

The use of edible species can be important in expressing the agrarian theme of the Farm at Alamo Creek. In addition to the orchard along Leisure Town Road, edible landscape should be used in other locations, including agricultural areas and appropriate private yards or gardens where residents can enjoy the benefits of fresh produce integrated into their daily lives. Edible species may also be used in special, privately maintained areas and should include wildlife-attractive hedge rows as buffers where feasible.

Planting may combine non-edible and edible species, such as combinations of fruit and nut trees, berry bushes, vegetables, herbs, edible flowers, and ornamental plants. Edible landscape design should resemble an ornamental garden and create balance, unity, rhythm, interconnection, and pattern in the landscape while integrating a host of food-producing plants in the design. Landscape design should emphasize the use of nectar producing and flowering plants that supply food, shelter and breeding habitat for beneficial insects that pollinate edible crops and control pests. Gardens for butterflies, hummingbirds and native bees are especially encouraged. Fruit bearing trees shall not be planted to overhang paved areas or trails.



SUGGESTED EDIBLE SPECIES	
<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>
<i>Prunus species</i>	
<i>Corylus cornuta californica</i>	<i>Western hazelnut</i>
<i>Diospyros kaki</i>	<i>Japanese Persimmon</i>
<i>Eriobotrya japonica</i>	<i>Loquat</i>
<i>Juglans hindsii</i>	<i>California Black Walnut</i>
<i>Malus</i>	<i>Flowering Crabapple</i>
<i>Olea europaea species</i>	<i>Olive</i>
<i>Pear Asian</i>	
<i>Apple</i>	
<i>Citrus</i>	

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CANOPY TREES		ORNAMENTAL TREES	
BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME
<i>Acer nigrum</i>	Black maple	<i>Acacia longifolia</i>	Golden wattle
<i>Acer platanoides</i>	Norway maple	<i>Aesculus carnea</i>	Red horse chestnut
<i>Betula utilis jacquemontii</i>	Himalayan birch	<i>Albizia julibrissin</i>	Mimosa
<i>Carpinus betulus fastigiata</i>	Upright European hornbeam	<i>Ceanothus arboreus</i>	Island ceanothus
<i>Celtis occidentalis</i>	Common hackberry	<i>Chionathus retusus</i>	Chinese fringe tree
<i>Ceratonia siliqua</i>	Carob tree	<i>Cornus florida 'Cherokee'</i>	'Cherokee' eastern dogwood
<i>Fraxinus 'Moraine'</i>	Moraine ash	<i>Cornus nuttallii</i>	Pacific dogwood
<i>Fraxinus oxycarpa 'Raywood'</i>	Raywood Ash	<i>Corymbia ficifolia</i>	Red flowering gum
<i>Gleditsia triacanthos</i>	Honey locust	<i>Elaeagnus angustifolia</i>	Russian olive
<i>Ginkgo biloba</i>	Maidenhair tree	<i>Koelreuteria paniculata</i>	Golden rain tree
<i>Liriodendron tulipifera</i>	Tulip tree	<i>Lagerstroemia indica</i>	Crape myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia	<i>Magnolia virginiana</i>	Sweet bay magnolia
<i>Maytenus boaria</i>	Mayten tree	<i>Malus species</i>	Crabapple
<i>Pinus canariensis</i>	Canary island pine	<i>Melaleuca linariifolia</i>	Flaxleaf paperbark
<i>Pistacia sinensis</i>	Chinese pistache	<i>Parkinsonia aculeata</i>	Jerusalem thorn
<i>Platanus occidentalis</i>	American sycamore	<i>Pawlonia tomentosa</i>	Empress tree
<i>Podocarpus gracilior</i>	African fern pine	<i>Prunus cerasifera</i>	Purpleleaf plum
<i>Rhus lancea</i>	African sumac	<i>Pyrus calleryana 'Aristocrat', 'New Bradford'</i>	'Aristocrat' and 'New Bradford' Flowering pear
<i>Robinia ambigua 'idahoensis'</i>	Idaho locust	<i>Prunus x 'yedoensis'</i>	Daybreak cherry
<i>Schinus molle</i>	False pepper tree	<i>Styphnolobium japonicum</i>	Japanese pagoda tree
<i>Tilia cordata</i>	Little leaf linden		



Acer nigrum - Black maple



Acer platanoides - Norway maple



Celtis occidentalis - Common hackberry



Ginkgo biloba - Maidenhair tree



Albizia julibrissin - Mimosa



Ceanothus arboreus - Island ceanothus



Cornus nuttallii - Pacific dogwood



Magnolia virginiana - Sweetbay magnolia

DESIGN CRITERIA

Shrubs			
BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME
<i>Abelia grandiflora</i>	Glossy Abelia	<i>Ligustrum japonicum</i>	Japanese privet
<i>Arctostaphylos bakeri</i> 'Louis Edmund'	'Louis Edmund' Manzanita	<i>Lonicera</i> species	Honeysuckle
<i>Arctostaphylos densiflora</i> 'Howard McMinn'	'Howard McMinn' Manzanita	<i>Mahonia aquifolium</i>	Oregon grape
<i>Aloe arborescens</i>	Torch aloe	<i>Myrica californica</i>	Pacific wax myrtle
<i>Artemisia arborescens</i>	Tree wormwood	<i>Myrsine africanum</i>	African boxwood
<i>Buxus microphylla</i>	Boxwood	<i>Myrtus communis</i>	Myrtle
<i>Buddleja davidii</i>	Butterfly bush	<i>Osmanthus</i> species	Sweet olive
<i>Ceanothus</i> species	California lilac	<i>Phormium tenax</i>	New Zealand flax
<i>Ceratostigma griffithii</i>	Burmese plumbago	<i>Photinia x fraseri</i>	Fraser Photinia
<i>Cistus hybrid</i> species	White rockrose	<i>Pittosporum eugenioides</i>	Lemon wood
<i>Choysia ternata</i>	Mexican orange	<i>Plumbago auriculata</i>	Cape plumbago
<i>Crocsmia x crocosmifolia</i>	Montbretia	<i>Prunus lusitanica</i>	Portuguese laurel
<i>Dietes grandiflora</i>	Fortnight lily	<i>Rosa rugosa</i>	Ramanas rose
<i>Eriogonum umbellatum polyanthum</i>	Sulfur buckwheat	<i>Salvia apiana</i>	California white sage creeper
<i>Escallonia x exoniensis</i>	Escallonia	<i>Sollya heterophylla</i>	Australian bluebell
<i>Euonymus japonicus</i>	Evergreen euonymus	<i>Spiraea douglasii</i>	Western Spiraea
<i>Garrya elliptica</i>	Coast silk-tassel	<i>Syringa vulgaris</i>	Common lilac
<i>Ilex</i> species	Holly	<i>Teucrium fruticans</i>	Bush germander
<i>Lavandula</i> species	Lavender	<i>Viburnum</i> species	Viburnum
<i>Lavatera maritima</i>	Tree mallow	<i>Westringia fruticosa</i>	Coast rosemary
<i>Leucophyllum frutescens</i>	Texas ranger	<i>Xylosma congestum</i>	Shiny xilosma



Abelia grandiflora - Glossy Abelia



Aloe arborescens - Torch aloe



Choisya ternata - Mexican orange



Ilex species - Holly



Lonicera species - Honeysuckle



Osmanthus species - Sweet olive



Rosa rugosa - Ramanas rose



Westringia fruticosa - Coast rosemary

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5.2.10 Streetscape Character and Landscaping

Streets will be planted with approved street trees and enhanced streetscape landscaping as defined in the final landscape plans of subsequent submittals. Street trees should be used consistently to provide a comfortable, human scale environment, promote the character intended for the neighborhood, and produce an overall setting of an “urban park” that reduces energy usage and improves air quality through a carefully selected planting palette. Intersections may have traffic circles or roundabouts to slow vehicles and increase pedestrian safety (particularly at Hawkins Road, Carrol Way, Camino Arroyo, and Camino Beltran).

Streetscapes should reflect the identity of the roadway system and incorporate separated sidewalks with parkway strips (as outlined below or on as approved on a case-by-case basis by City Staff) when homes front on the streets. Taller more imposing trees and widened landscape strips should define the arterials and major collectors. Medium-sized trees and smaller landscape strips should articulate the minor collectors. In general, street trees should be used consistently on residential streets to establish attractive neighborhoods. Planting themes should be identified for each street for both trees and understory planting, providing accent at intersections and viewpoints along the circulation network. See the street plantlist below for specific suggestions on species to be used at each street.

Parkway strips shall be used at all streets and shall have a minimum width of 6 feet, from back of curb to edge of sidewalk. Where possible, parkway strips should have a more generous width to provide a healthier environment for tree growth. Planting at parkway strips should be selected prioritizing minimal irrigation and maintenance, except for areas where additional accent is needed.

STREETS TREES			
		<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>
ARTERIALS			
	HAWKINS ROAD	<i>Fraxinus uhdei</i>	Evergreen ash
	ELMIRA ROAD	<i>Tilia cordata</i>	Little leaf Linden
	LEISURE TOWN ROAD	<i>Platanus racemosa</i>	California Sycamore
COLLECTORS			
	CARROL WAY	<i>Quercus agrifolia</i>	Coast live oak
	CAMINO ARROYO	<i>Celtis occidentalis</i>	Common Hackberry
	CAMINO BEL TRAN	<i>Pistachia sinensis</i>	Chinese pistache
	CAMINO HACIENDA	<i>Carpinus betulus fastigiata</i>	European hornbeam
RESIDENTIAL ROADS			
	HARROW WAY	<i>Acer buergeranum</i>	Trident maple
	SADDLE STREET	<i>Robinia ambigua 'idahosensis'</i>	Idaho locust
	HARROW CT	<i>Malus 'Profusion'</i>	'Profusion' crape myrtle
	HARROW WAY	<i>Malus 'Profusion'</i>	'Profusion' crape myrtle
	MAIZE STREET	<i>Malus 'Marilee'</i>	'Marilee' crape myrtle
RESIDENTIAL ROADS (CONTINUED)			
	BRIDLE WAY	<i>Lagerstroemia 'Muskogee'</i>	'Muskogee' crape myrtle
	PASTURE STREET	<i>Lagerstroemia 'Arapaho'</i>	'Arapaho' crape myrtle
	FURROW COURT	<i>Pyrus calleryana 'Aristocrat'</i>	'Aristocrat' pear
	PADDOCK COURT	<i>Pyrus 'New Bradford'</i>	'New Bradford' pear
	LASSO STREET	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	PADDOCK STREET	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	STETSON WAY	<i>Maytenus boaria</i>	Mayten tree
	LASSO CT	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	PISTACHIO CT	<i>Lagerstroemia 'Muskogee'</i>	'Muskogee' crape myrtle
	BARROW CIRCLE	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	YUKON STREET	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	WINDMILL WAY	<i>Koelreuteria paniculata</i>	Golden rain tree
	BARROW CIRCLE	<i>Lagerstroemia 'Natchez'</i>	'Natchez' crape myrtle
	BARROW COURT	<i>Aesculus carnea</i>	Red horse chestnut
	CROFT COURT	<i>Lagerstroemia 'Snowdrift'</i>	'Snowdrift' crape myrtle
	LAMB COURT	<i>Aesculus carnea</i>	Red horse chestnut
	GRANJA COURT	<i>Chionantus retusus</i>	Chinese fringe tree
	SADDLE COURT	<i>Albizia julibrissin</i>	Mimosa
	SILO COURT	<i>Magnolia Virginiana</i>	Sweet bay Magnolia

DESIGN CRITERIA



Betula utilis jacquemontii - Himalayan birch



Gleditsia triacanthos - Honey locust



Rhus lancea - African sumac



Acacia longifolia - Golden wattle



Lagerstroemia indica - Crape myrtle



Ceratonia siliqua - Carob tree



Liriodendron tulipifera - Tulip tree



Schinus molle - False pepper tree



Aesculus carnea - Red horse chestnut



Malus species - Crabapple



Fraxinus 'Moraine' - Moraine Ash



Pinus canariensis - Canary island pine linden



Tilia cordata - Little leaf linden



Chionanthus retusus - Chinese fringe tree



Prunus x 'yedoensis' - Daybreak cherry



Fraxinus oxycarpa 'Raywood' - Raywood Ash



Platanus occidentalis - American sycamore



Koelreuteria paniculata - Golden rain tree



Corymbia ficifolia - Red flowering gum



Styphnolobium japonicum - Japanese pagoda tree

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5.2.11 Trail Network

The Farm at Alamo Creek **and Fields** will feature a safe, well-planned bicycle and pedestrian network that enables mobility and enhances linkages. The network will also facilitate easy connections to the common open space areas, the Detention Basin, the Community Park, the Community Center, the two Pocket Parks and the commercial areas. A well-defined trail system facilitates mobility and affects the quality of life of the community. Trails express community character and pride, aesthetics of local environment, access to outdoors, opportunities for socialization, and increased mobility. The comprehensive, interconnected, trail and bike network will include multi-use trails and Class 2 bikeways.

- **Multi-use Trail:** Multi-use trails are located in corridors and green belts adjacent to open spaces with limited vehicular interruptions. Multi-use trails are 10-foot paved pathways to accommodate bicyclists and pedestrians. In order to reinforce a distinct character and provide an amenity that blends with the landscape, the multi-use trail along Camino Arroyo between Leisure Town Parkway and the agbuffer should be constructed of AC paving. Other multi-use Trails may be AC or concrete paving.
- **Bike Lanes:** Bike lanes are designated bike lanes located on arterial road- ways and collector streets. Bike lanes are approximately 6 feet wide and marked with signage and painted stripes. Bike lanes are designed to minimize barriers and reduce potential travel disruptions.
- **Enhanced Pedestrian Crossing** – For safety and visibility, enhanced pedestrian crossings may be constructed at key intersections and locations where multi-use paths intersect collector streets. Criteria for such crossings will be determined during preparation of improvement plans and are subject to approval by Public Works.



DESIGN CRITERIA





TRANSPORTATION + CIRCULATION

6 TRANSPORTATION AND CIRCULATION

- 6.0 Introduction
- 6.1 Existing Setting
- 6.2 Connections

6.0 INTRODUCTION

The Farm at Alamo Creek **and Fields** provides for street improvements that will greatly enhance the traffic circulation in the vicinity. Three major arterials will be widened to their ultimate width: Leisure Town Road will be widened on the east side to its ultimate 6-lane width between Elmira Road and Hawkins Road. Elmira Road will be widened on the north side to its ultimate 4-lane width between Leisure Town Road and Carroll Way. And Hawkins Road will be realigned and widened on the south side to its ultimate width between Leisure Town Road and Carroll Way. Along with the improvements to Carroll Way traffic will be able to circulate around and through the area with much greater ease.

The Trail system within The Farm at Alamo Creek has been designed to provide direct and visually appealing connections to the various elements throughout the project: the detention basin, clubhouse, 3 parks, and 2 commercial sites.

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6.1 EXISTING SETTING

The Farm at Alamo Creek is bounded by Leisure Town Road on the west, Hawkins Road (along with a small portion of land on the north side of Hawkins) on the north, Elmira Road on the south and Carroll Way and a portion of Alamo Creek to the east. The Fields is bordered by Hawkins Road on the north and is designed to connect to proposed roadways with the Farm at Alamo Creek.

The existing roadways and the proposed vehicular circulation system through the Specific Plan area are shown on Figures 6.1 and 6.2. The major streets within The Farm at Alamo Creek Specific Plan area are described as follows:

6.1.1 Leisure Town Road

Leisure Town Road is currently a partially developed road with gaps of rural frontage in the vicinity of the project and will ultimately be a 6-lane arterial with large, landscaped frontages. The City of Vacaville is currently widening Leisure Town Road south of Elmira Road and the developers of The Farm at Alamo Creek will be responsible for construction of the fronting curb, gutter, sidewalk, 20 feet of pavement and the landscaping per the Jepson Parkway plan line as recently approved by the Solano Transportation Authority (STA) between Elmira Road and Hawkins Road. See Figure 6.2 for the location and Figure 6.2.1 Leisure Town Road for the details of the proposed street section. Final design and right of way for Leisure Town Road adjacent to The Farm at Alamo Creek shall be incorporated into The Farm Final Map(s) and improvement plans.

6.1.2 Elmira Road

Elmira Road borders The Farm at Alamo Creek on the south. Currently the road is two lanes but is designated to be a 4-lane arterial within the buildout area of the project. The southern portion of Elmira Road will be completed with the Brighton Landing development and the developers of The Farm at Alamo Creek will be responsible for completing the required final improvements (including the landscaping and trails) to Elmira Road. See Figure 6.2 for the location and Figure 6.2.2 Elmira Road for the details of the proposed street section.



TRANSPORTATION + CIRCULATION

6.1.3 Carroll Way

Carroll Way does not currently exist but will ultimately serve the development east of Leisure Town Road as a key north-south 2-lane arterial designed to augment the traffic capacity of Leisure Town Road. With buildout of the Farm at Alamo Creek, Carroll Way will be constructed to its ultimate width from Elmira Road to Hawkins Road. See Figure 6.2 for the location and Figure 6.2.3 Carroll Way for details of the proposed street section.



6.1.4 Hawkins Road

Hawkins Road is identified in the General Plan as a 4-lane arterial within The Farm at Alamo Creek Specific Plan Area. Currently, Hawkins Road intersects Leisure Town Road approximately 220 feet north of Ulatis Drive. With development of The Farm at Alamo Creek, Hawkins Road will be realigned to match up with Ulatis Drive to form a standard four-way intersection. In the future, this intersection will have a traffic signal which will greatly enhance traffic movements onto and off Leisure Town Road. The Fields portion of Hawkins Road will continue in a 2-lane configuration. A single roadway connection from the Fields will connect with Hawkins Road and this connection will allow both left turn movements in and out of the plan area. Secondary access to the Fields will be met when the project connects to a completed roadway within the Farm at Alamo Creek.



6.1.5 Enhanced Residential Streets with Trail

Within The Farm at Alamo Creek, there are three street sections that are designated "Enhanced Residential Streets". These streets: Camino Arroyo, Camino Beltran and Camino Hacienda vary in width from 34 feet to 39 feet. Camino Arroyo and Camino Hacienda have a trail on one side of the street and a limited number of residential units fronting on the street. See Figure 6.2 for the location and Figures: 6.2.5A Camino Arroyo, 6.2.5B Camino Beltran and 6.2.5C Camino Hacienda for details of the proposed street sections.



6.1.6 Residential Streets with Separated Sidewalks

All other streets not mentioned above will be designated as residential streets with separated sidewalks to enhance the pedestrian experience. These streets will comply with the City of Vacaville standards for residential streets. See Figure 6.2 for the location and Figure 6.2.6 Residential Street with separated sidewalks for details of the proposed street section. Consideration for City approved traffic calming measures shall be on straight streets.



chapter 6

6.2 CONNECTIONS

Completion of the street network within The Farm at Alamo Creek area will provide a significant improvement in vehicular circulation throughout the eastern portion of Vacaville. The Leisure Town Road widening along with the Carroll Way installation will improve north-south movements from Southeast Vacaville to Travis Air Force Base and to Interstate 80.

The completion of Jepson Parkway (including the Leisure Town Road portion) as envisioned by the STA will provide enhanced connections between Suisun City, Fairfield, Vacaville, and Dixon.

6.2.1 Vehicular Street Network

The following are implementing policies to ensure completion of the Vehicular Street Network as envisioned by this Specific Plan. The Traffic Mitigation Monitoring Plan outlined in the EIR and Supplemental EIR is incorporated by reference.

The project shall incorporate traffic mitigation measures as recommended in the EIR.

The public road rights-of-way and street improvements shall comply with City of Vacaville standards and said rights-of-way will be dedicated to the City of Vacaville as public streets as shown in the following Figures:

6.2.1 Section 1 – Leisure Town Road (Future Jepson Parkway)

6.2.2 Section 2 – Elmira Road

6.2.3 Section 3 – Carroll Way

6.2.4 Section 4 – Hawkins Road

6.2.5A Sec. 5A – Camino Arroyo

6.2.5 B&C Section 5B & 5C – Camino Beltran and Camino Hacienda

6.2.6 Section 6 – Residential Street

Focused traffic analysis shall be provided to determine traffic controls at arterial and collector intersections. Phasing of the Project roadway network shall not result in potential for creating cut through traffic on Project roadways or roadways near the Project.

6.2.2 Non-Vehicular Circulation Network

The Farm at Alamo Creek utilizes a comprehensive bikeway/pedestrian system that connects the parks, the Community Center, detention basin, and commercial center, and promotes the use of alternatives to driving.

With development of the project, the trail/bike system as shown in Figure 6.3 Non-Vehicular Circulation Diagram will be constructed. Construction shall include signings, markings and improvements determined by the Public Works Director to provide for pedestrian and bicycle safety, particularly at intersections.

The design of trail locations shall incorporate standards for emergency services visibility and access, safety lighting if appropriate, and planning for fire protection.

TRANSPORTATION + CIRCULATION

6.2.3 Transit

The Farm at Alamo Creek will install a bus turnout along Leisure Town Road as directed by the Director of Public Works to provide access to the local transit system. The City's bus system provides area residents with the opportunity to use public transportation as an alternative to driving.

The Transit service in Vacaville is provided by Vacaville City Coach through fixed route and dial-a-ride services. City Coach services are coordinated with other areatransit services for weekday peak hour commute service along Interstates 80 and 680 corridors. This includes services to and from the Fairfield/Suisun Transit and Vallejo Transit systems with routes that connect to BART stations in Pleasant Hill and El Cerrito.



chapter 6



THE FARM
AT ALAMO CREEK

VEHICULAR CIRCULATION SYSTEM
FIGURE 6.1

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TRANSPORTATION + CIRCULATION

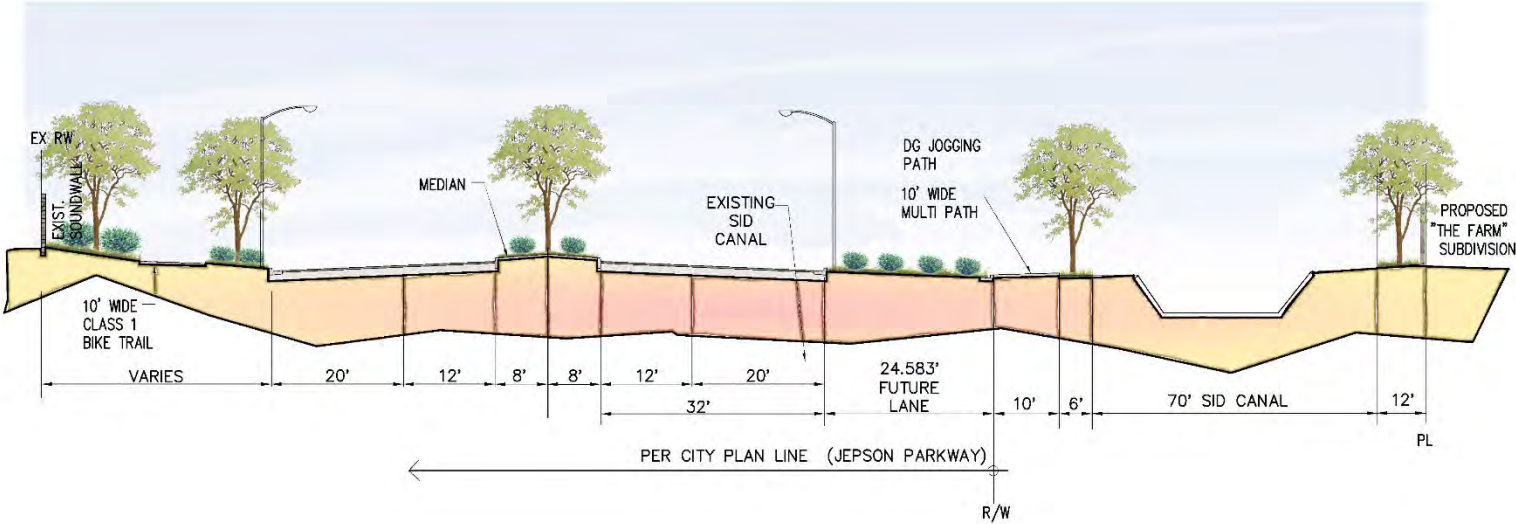


THE FARM
AT ALAMO CREEK

STREET NETWORK KEY PLAN
FIGURE 6.2

REV 08-02-23 08-11-2022

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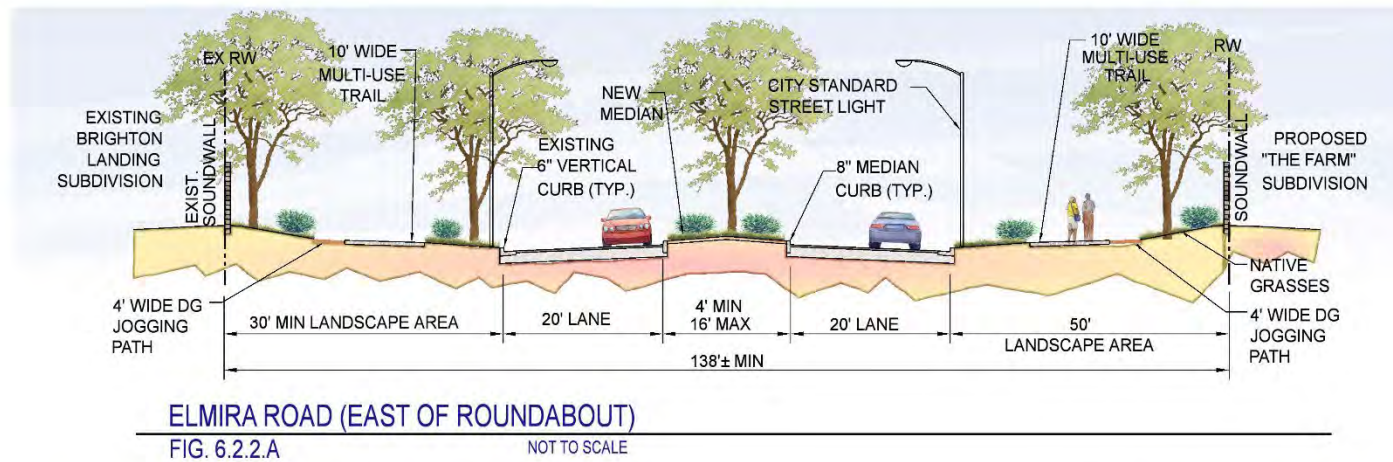
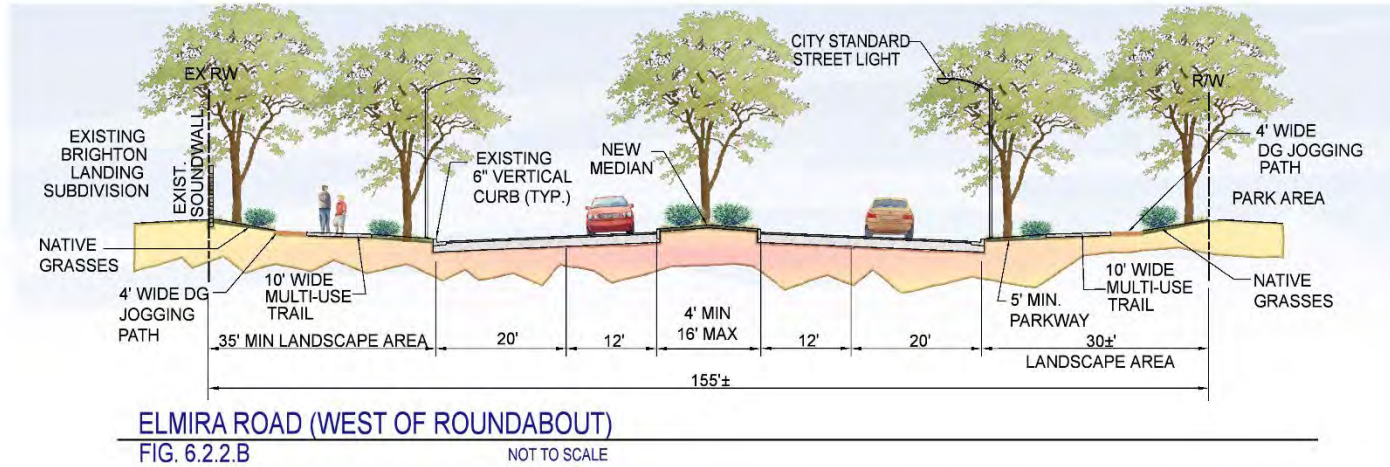


THE FARM
AT ALAMO CREEK

LEISURE TOWN ROAD
FIGURE 6.2.1

08-11-2022

TRANSPORTATION + CIRCULATION

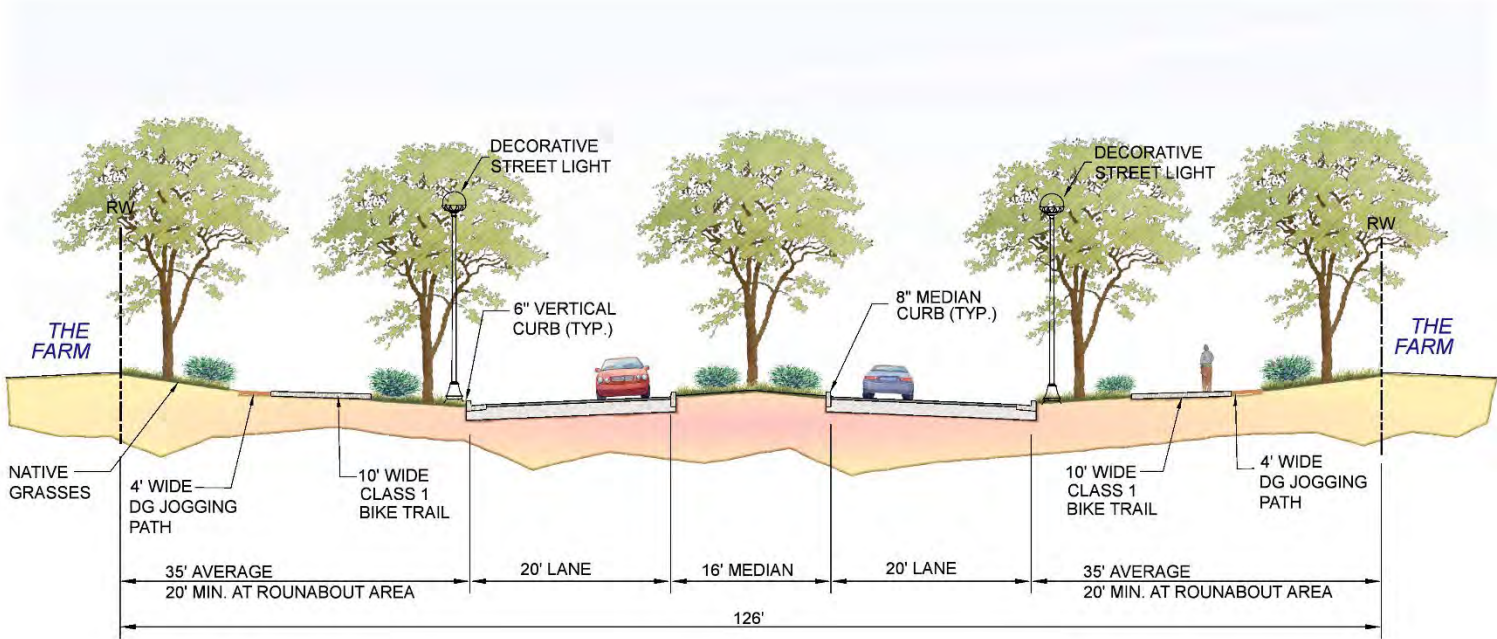


THE FARM
 AT ALAMO CREEK

ELMIRA ROAD
 FIGURE 6.2.2

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chapter 6

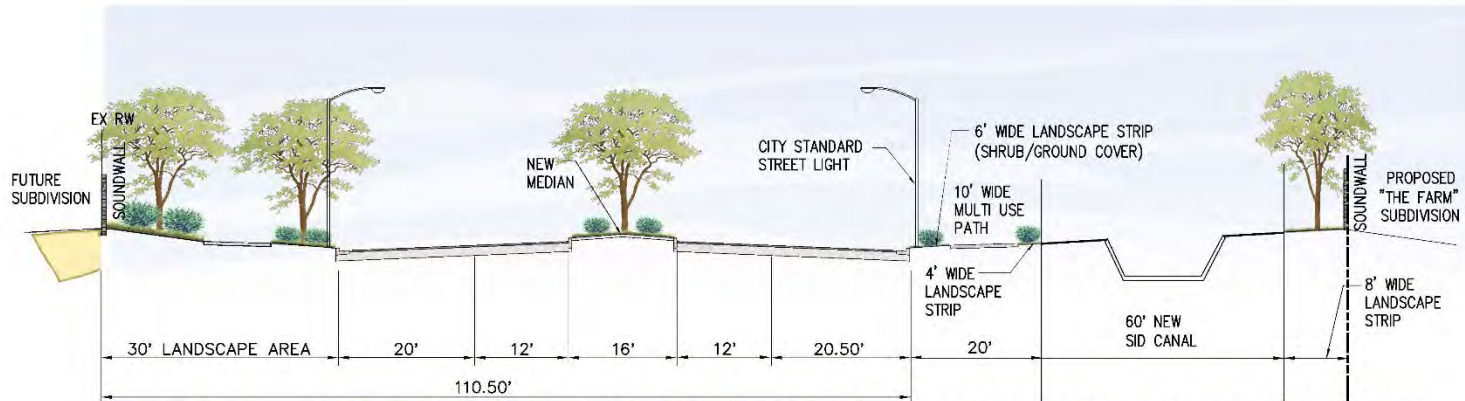


THE FARM
AT ALAMO CREEK

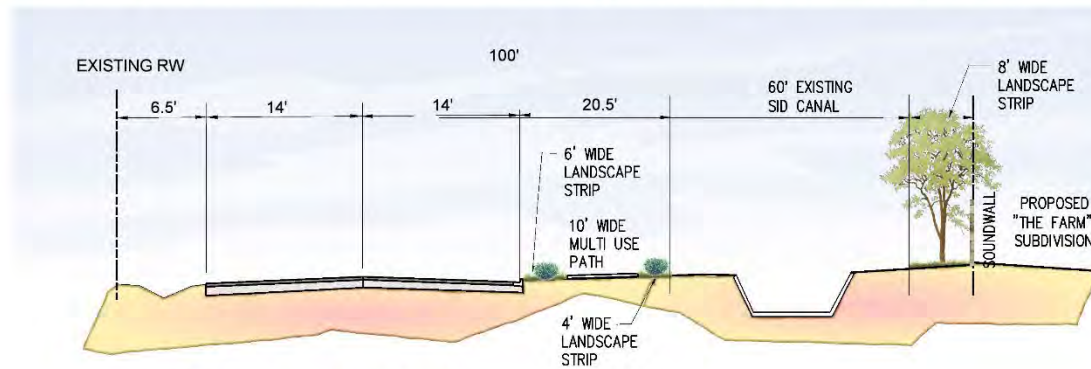
CARROLL WAY
NOT TO SCALE **FIGURE 6.2.3**

08-11-2022

TRANSPORTATION + CIRCULATION



6.2.4.A INTERSECTION OF HAWKINS AND LEISURE TOWN ROAD & HAWKINS ULTIMATE



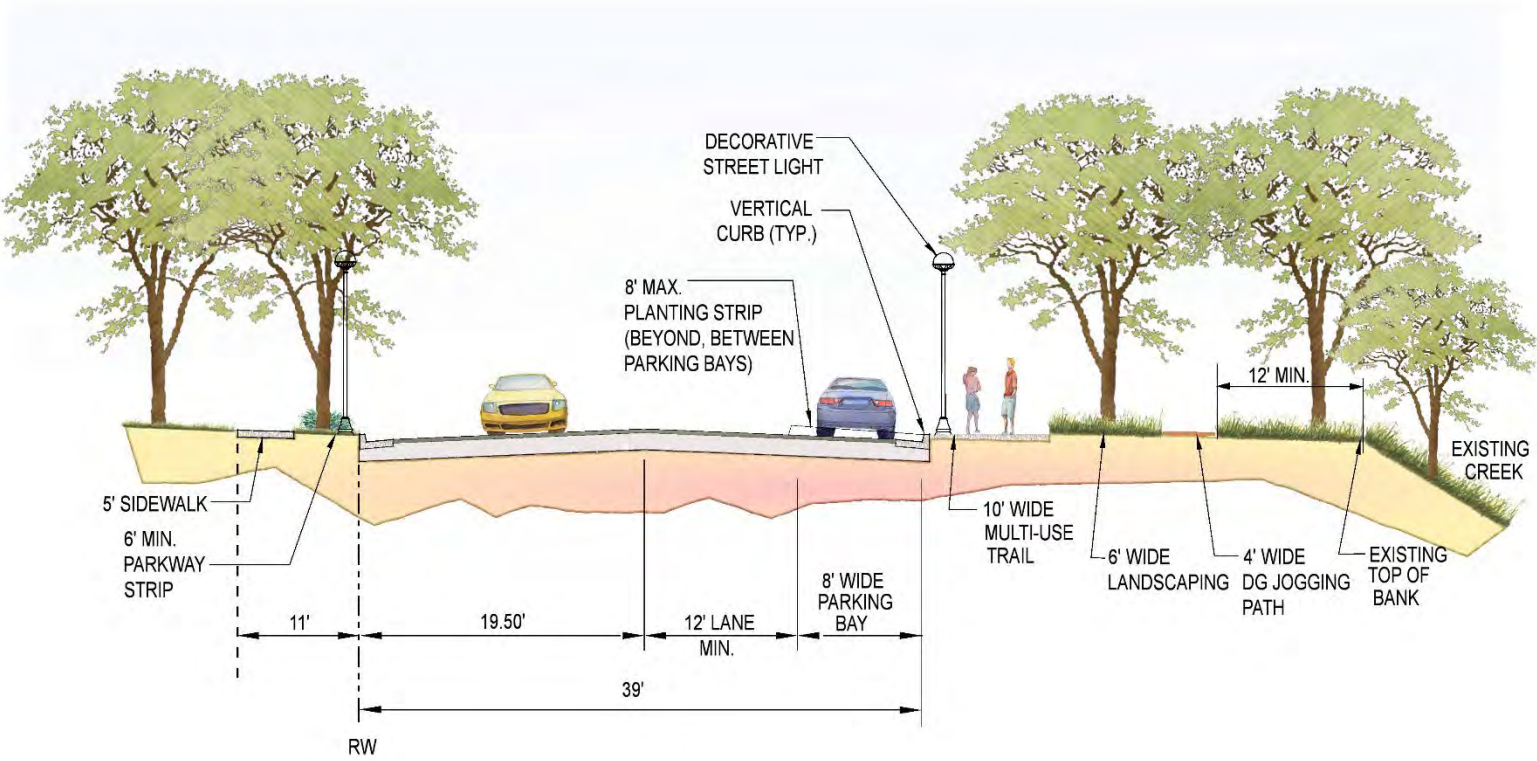
6.2.4.B INTERIM

THE FARM
AT ALAMO CREEK

HAWKINS ROAD
FIGURE 6.2.4

08-11-2022

chapter 6

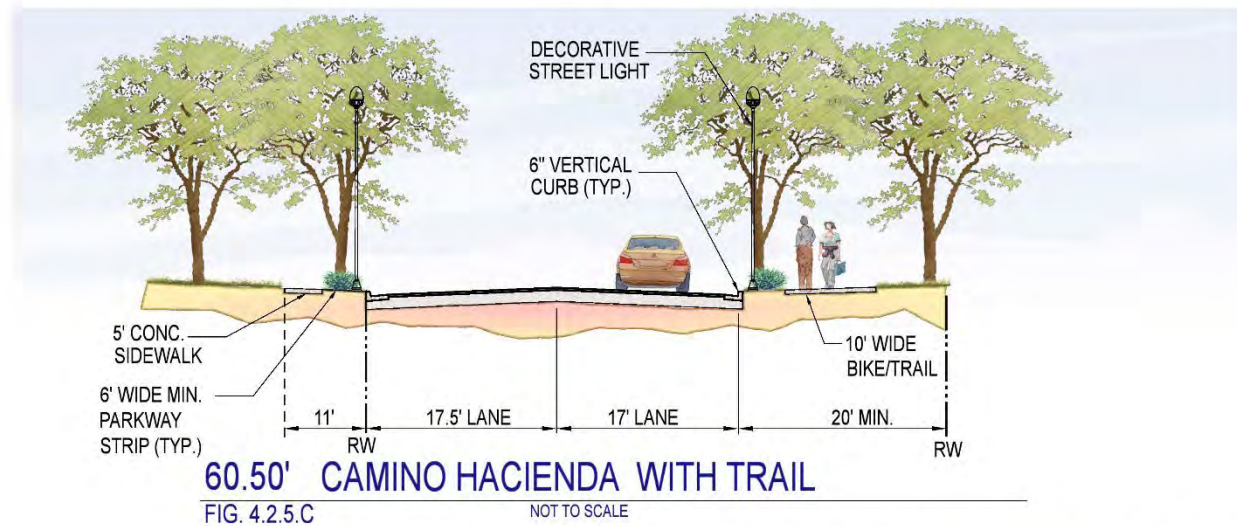
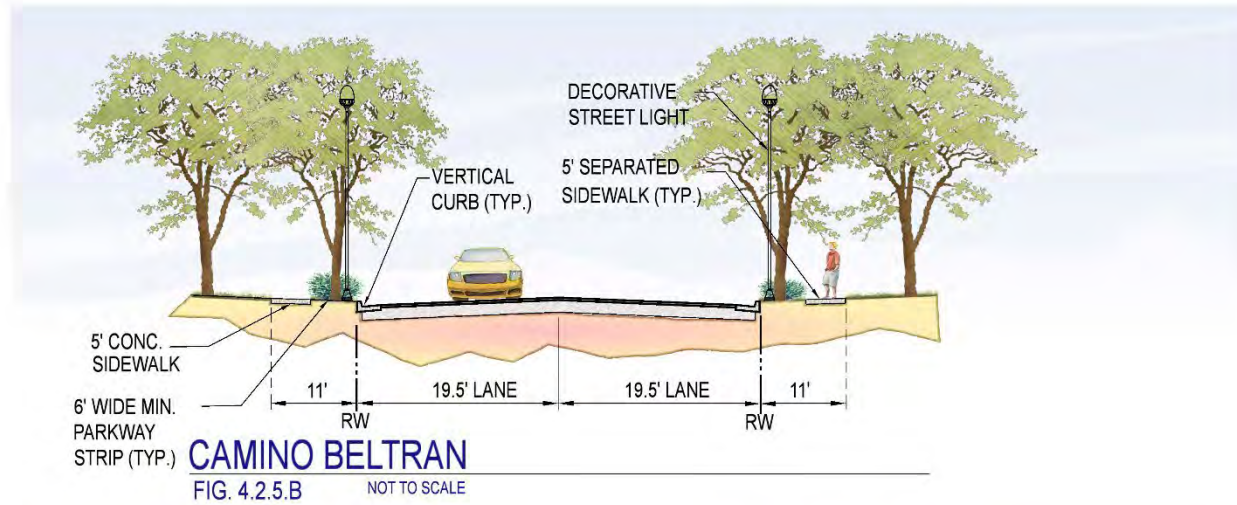


THE FARM
AT ALAMO CREEK

CAMINO ARROYO
FIGURE 6.2.5.A

08-11-2022

TRANSPORTATION + CIRCULATION



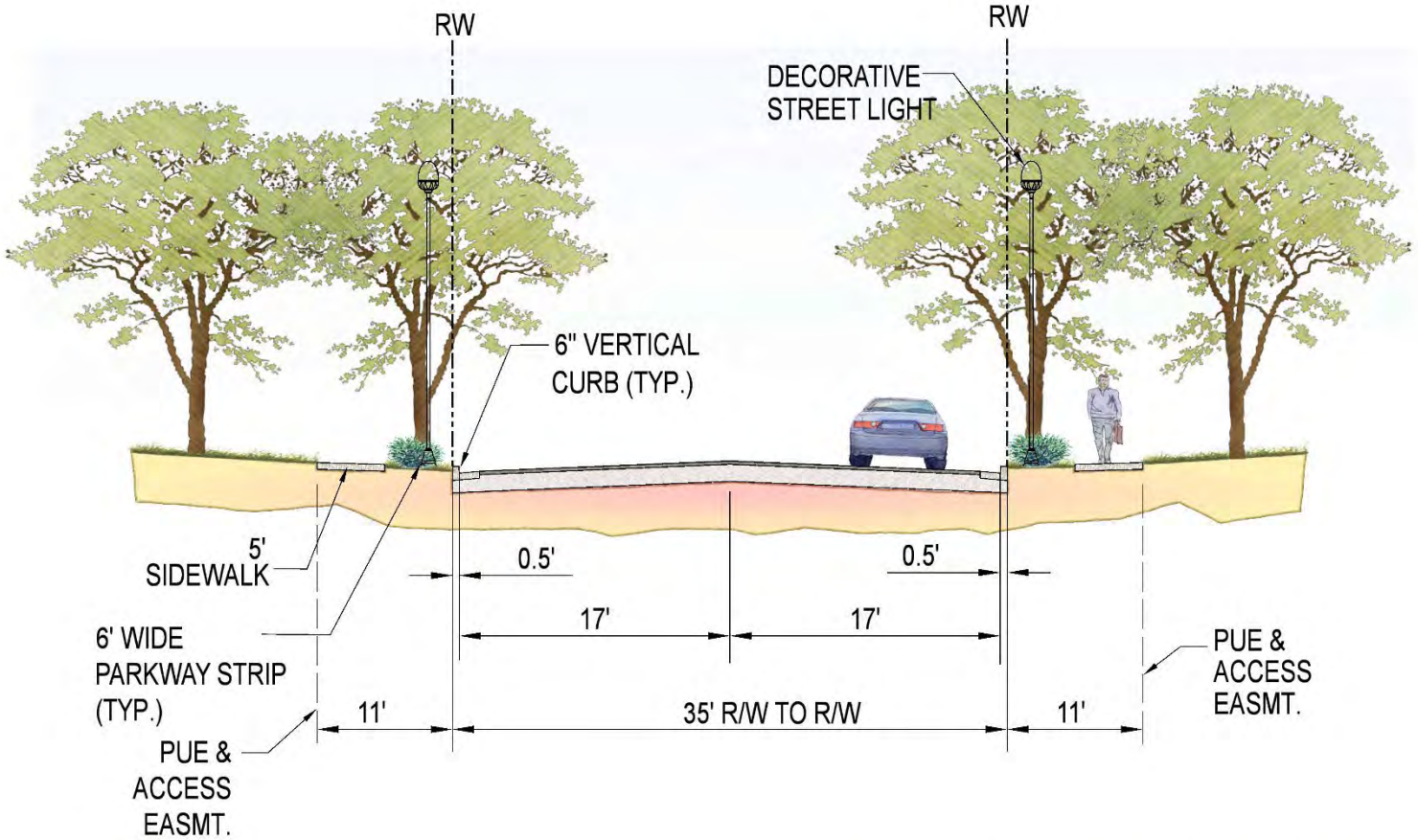
THE FARM
AT ALAMO CREEK

CAMINO BELTRAN & CAMINO HACIENDA

FIGURE 6.2.5.B & C

08-11-2022

chapter 6



THE FARM
AT ALAMO CREEK

RESIDENTIAL STREET (TYP.)
FIGURE 6.2.6

08-11-2022

TRANSPORTATION + CIRCULATION

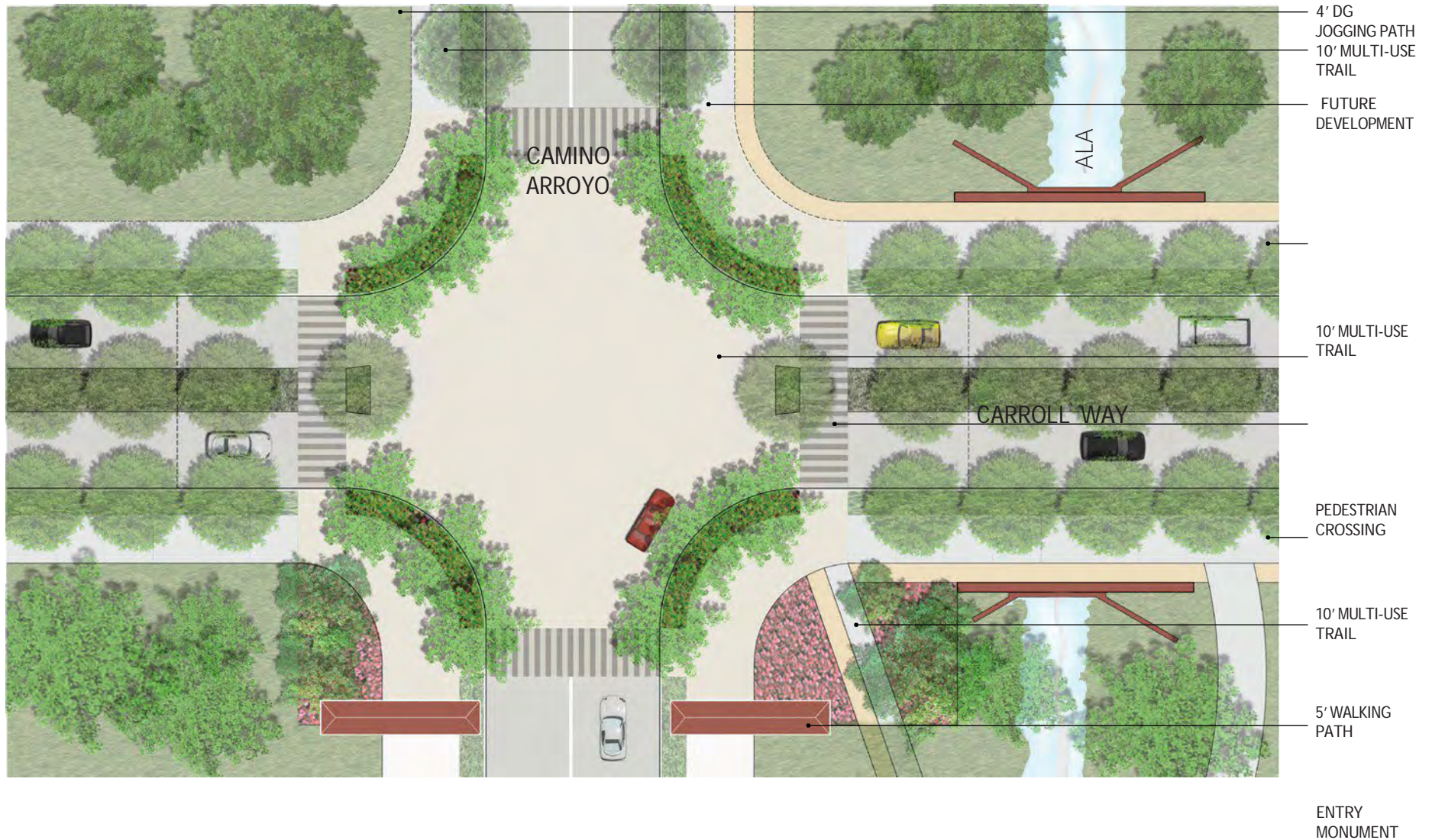


Figure 6.2.7: Intersection at Camino Arroyo & Carroll Way

chapter 6

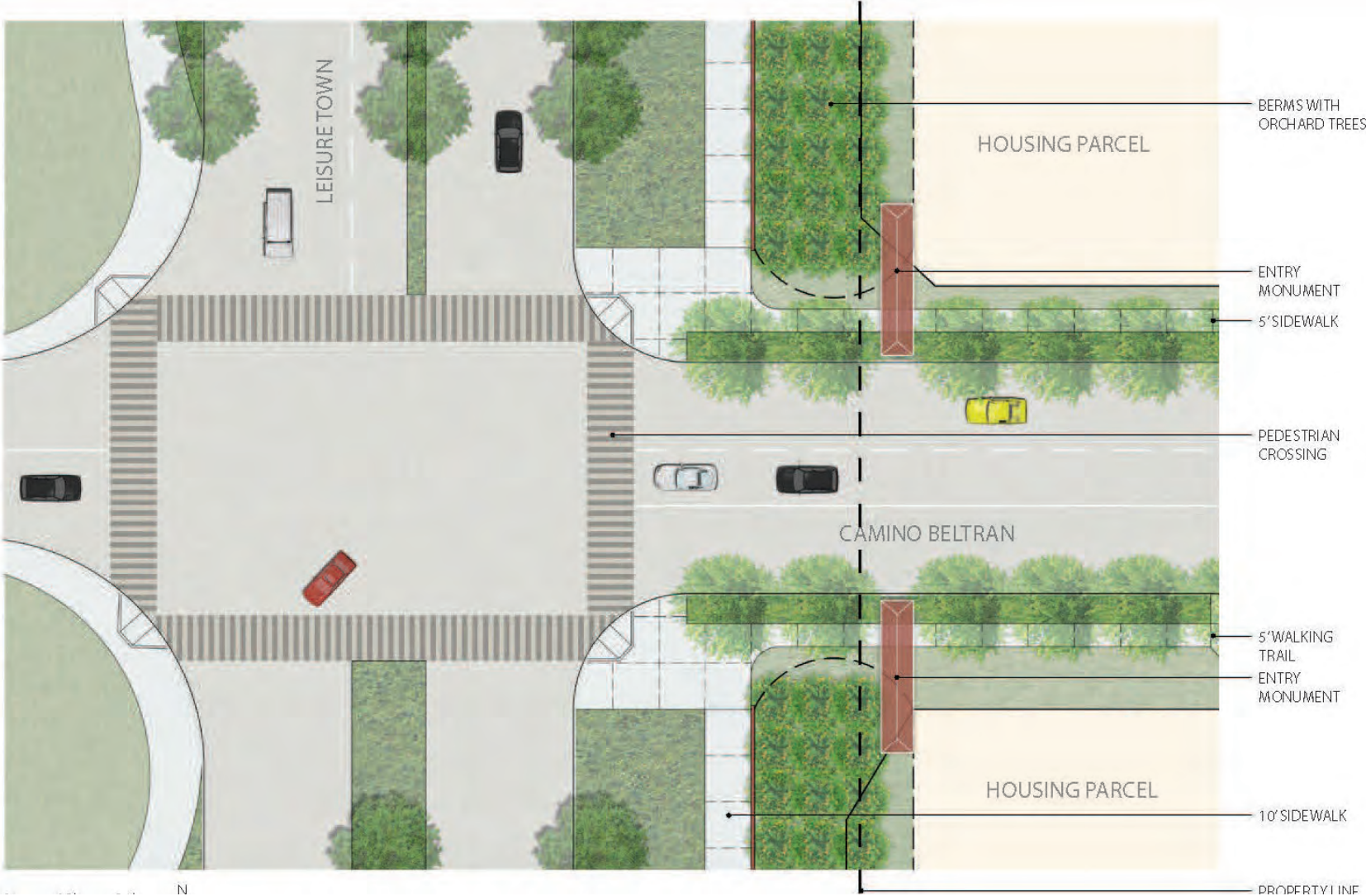


Figure 6.2.8: Entry at Camino Beltran

TRANSPORTATION + CIRCULATION



THE FARM
AT ALAMO CREEK

STREET NETWORK KEY PLAN
FIGURE 6.3

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chapter 7

RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT

7 RECREATION, OPEN SPACE, AND RESOURCE MANAGEMENT

7.0 Introduction

7.1 Public Open Space and Recreation

7.0 INTRODUCTION

Within easy reach from all corners of the community an array of parks and public facilities provide diverse recreational opportunities for the residents.

The Farm at Alamo Creek will be required to comply with the Mitigation Monitoring and Reporting Program (MMRP) measures to reduce the development's impact on the environment.

chapter 7

7.1 OPEN SPACE AND RECREATION

The Farm at Alamo Creek will result in the construction of numerous public and private recreational facilities and parks including:

- A centrally located private neighborhood park that will incorporate a private Clubhouse and pool facility for all residents.
- 2 private neighborhood pocket parks
- An 8.2-acre "Play-4-All Park" privately funded park on Elmira Road designed for children of all abilities and disabilities.
- A large, multi-use public community park with 2 soccer fields and a baseball diamond and off-street parking shared with the Play-4-All Park
- A public linear open space along Old Alamo Creek, incorporating the existing vegetation and the restoration of approximately 800 feet of creek east of Carrol Way.
- A public detention basin with surrounding landscape improvements and trail.
- A large public orchard along the east side of Leisure Town Road, providing a green buffer between the community and the vehicular artery. The public orchard will be maintained through the HOA.



The Fields open space and recreation area will be stand-alone from the Farm at Alamo Creek without access to their private recreational facilities. Although the Fields recreational amenities will be developed separately from the Farm at Alamo Creek nothing in this document precludes the two project areas from creating a single HOA or combining HOA's should ownership entities come to terms that allow such action to take place. With a single HOA or combined HOA provisions for access to the private facilities may be addressed. The Fields recreational facilities include:

- A .6-acre park that will be privately developed and maintained. The theme for the park will be dependent on the housing type proposed. For example, should the target buyer be first time homeowners then the park will likely include a tot lot and under 12 play equipment. Should the product type be an age restricted community park improvements may include bocci ball and or pickle ball courts.
- Additionally, a public detention basin with surrounding landscape improvements and trail will be provided in the 7.2-acre open space area.

7.1.1 Central Neighborhood Park and Clubhouse

A centrally located park and clubhouse will function as the social and recreational heart of the community. Within easy reach of all corners of the community, the site will provide several public facilities for the residents, including a club house and a swimming pool. The park will include outdoor gathering areas and activity areas complementary to the program of the community clubhouse and pool. These may include shade structures, play areas, a small performance space with outdoor seating, etc. Planting selection may include some fruit bearing species reflecting the character of the community and its agrarian context.

RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT

7.1.2 Pocket Parks

The two private pocket parks north and south of the Community Park are meant as “outdoor rooms” for nearby residents. They each provide open space for neighbors to socialize, take a stroll, enjoy a day of sunshine, or organize small outdoor gatherings on a weekend. Landscape improvements may include informal turf play areas, picnic facilities, shade structures, and distinct seating areas. The landscape program should respond to the needs of senior residents and children, the two age groups that will likely use these spaces the most. The design for each park would have a distinct feel, emphasizing the unique character of the two spaces: this distinction should be reflected both in the programming and in the planting design and species selected. Planting selection should include some fruit bearing species reflecting the character of the community and its agrarian context. Accent planting is recommended along the north-south axis connecting the two parks, emphasizing the complementary relationship of the 2 spaces and the pedestrian and bike connections.

7.1.3 Play-4-All Park and Community Park

A privately funded, large Play-4-All-Park will complement the adjacent city community park on Elmira Road and Alamo Creek. The two parks will include a large, 8,000 square foot play structure, two mini ballparks designed for Challenger Leagues, Tee Ball, and Adult Whiffle Ball, a Town Square, two Dog Parks, two Soccer Fields, a Baseball Diamond and plenty of parking. Play activities for families and children are at the core of these out-door spaces and the play structures and facilities will allow children of all ages, with and without disabilities, to play together. Themed play areas will be identified throughout the entire space, allowing easy pedestrian connection but also spatial distinction between one play area and the other. The planting design should respond to intense outdoor activity use with a selection of easy to maintain, drought tolerant, strong planting species.

The planting along the south and east edge of the park should provide a green buffer to the adjacent residential neighborhoods while on the north side the landscape design should blend with the existing vegetation and integrate seamlessly new and existing planting material. Besides the listed play structures and space permitting, amenities should include gazebos, picnic areas and shade structures. The park should make use of careful grading and new berming to create landforms and provide opportunities for outdoor seating areas, define edges, separate uses, and spaces, and create interest.



chapter 7

7.1.4 Old Alamo Creek Open Space and Trail

The Old Alamo Creek Trail stretches for over half a mile, east west, incorporating over 10 acres of existing and proposed vegetation and additional trails and park facilities. The park crosses a major vehicular artery (Carrol Way) and connects to the Detention basin. Pedestrian and bicycle trails will follow the banks of the creeks and parks and connect to the larger pedestrian and bicycle network. Two pedestrian crossings at Camino Arroyo will facilitate pedestrian circulation between the residential neighborhood and the parks along Elmira Avenue. The improved creek will collect on-site stormwater flows from the neighborhood and direct them to the proposed detention basin east of Carrol Way. Creek slopes should be designed to be typically no steeper than 4:1 or 3:1 and native grasses should be used at all sloped areas to provide erosion control.

Landscape improvements shall incorporate and protect the existing vegetation, in particular the large existing oaks, and enhance the native habitat with a selection of native drought tolerant shrubs, groundcovers and grasses supporting critical pollinators, beneficial insects and animal species.

Bench seating areas may be provided at viewpoints, while special landscape features may include flowering accent trees, boulder circles, bat and barn owl boxes and interpretive signage for wildlife. The Creek Open Space will be City-maintained.

7.1.5 Detention Basin

The proposed detention basin will collect storm overflows from the Old Alamo Creek and provide an additional outdoor destination to the neighborhood. A separate detention basin will be provided within the Fields that provides similar amenities.

A maintenance road that may be used as pedestrian trail will circumnavigate the basins and integrate with the larger bike and pedestrian circulation of the neighborhood. The banks of the proposed basin shall be designed to provide a natural and pleasant setting. The basin should have an irregular shape, avoiding a full view of its basin from any given point, so that it will be perceived to be much larger than its actual dimensions. Safety fences should be installed around the basin, but they should allow for maximum transparency and be integrated in the landscape.



The slopes of the basins should be designed to be typically no steeper than 4:1 or 3:1 and native grasses should be used at all sloped areas to provide erosion control.

Bench seating areas should be provided at viewpoints, while special landscape features may include benches and seating areas, picnic tables, small shade structures and interpretive signage. Planting selection should provide seamless continuity with the vegetation of the Old Alamo Creek, and emphasize the use of native, drought tolerant species that are beneficial to habitat creation/enhancement. The banks of the basin should be planted with trees to minimize attractiveness to large, migrating water-fowl.

RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT

7.1.6 Agriculture Buffer

The eastern portion of the property, north and including the detention basin will serve as an agricultural buffer.

7.1.7 Orchard

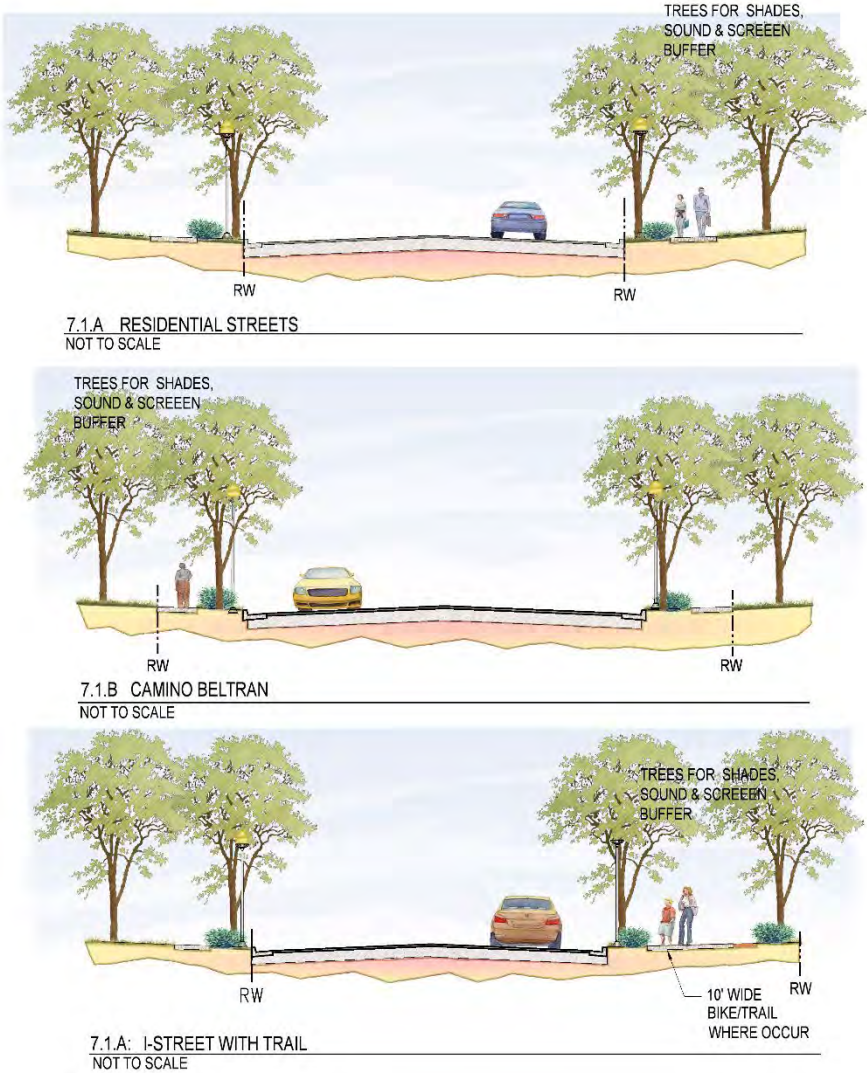
A large orchard will be planted along the east side of Leisure Town Road and will be HOA maintained. The rows of trees and the sloped terrain will provide a unique sound and visual buffer from the vehicular traffic on road.



The orchard will express and reinforce the agrarian identity of the Farm at Alamo Creek while potentially providing an additional source of food for neighborhood residents.

The orchard will also provide an ornamentally significant landscaped entry statement for the community. The selection of few, repeated species, or a monoculture, is recommended, with particular attention to spring color. Ground plane planting should be kept simple and display native, drought tolerant grasses only.

chapter 7



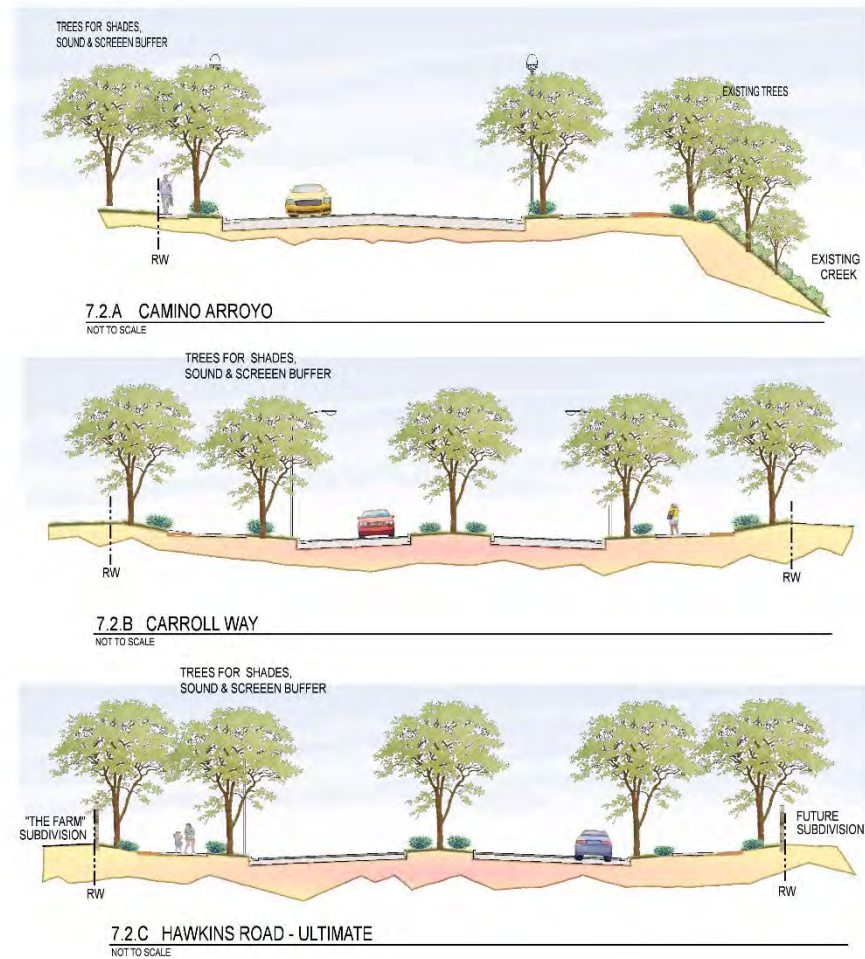
THE FARM
AT ALAMO CREEK

STREET TREE CONCEPT
NOT TO SCALE

FIGURE 7.1

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RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT



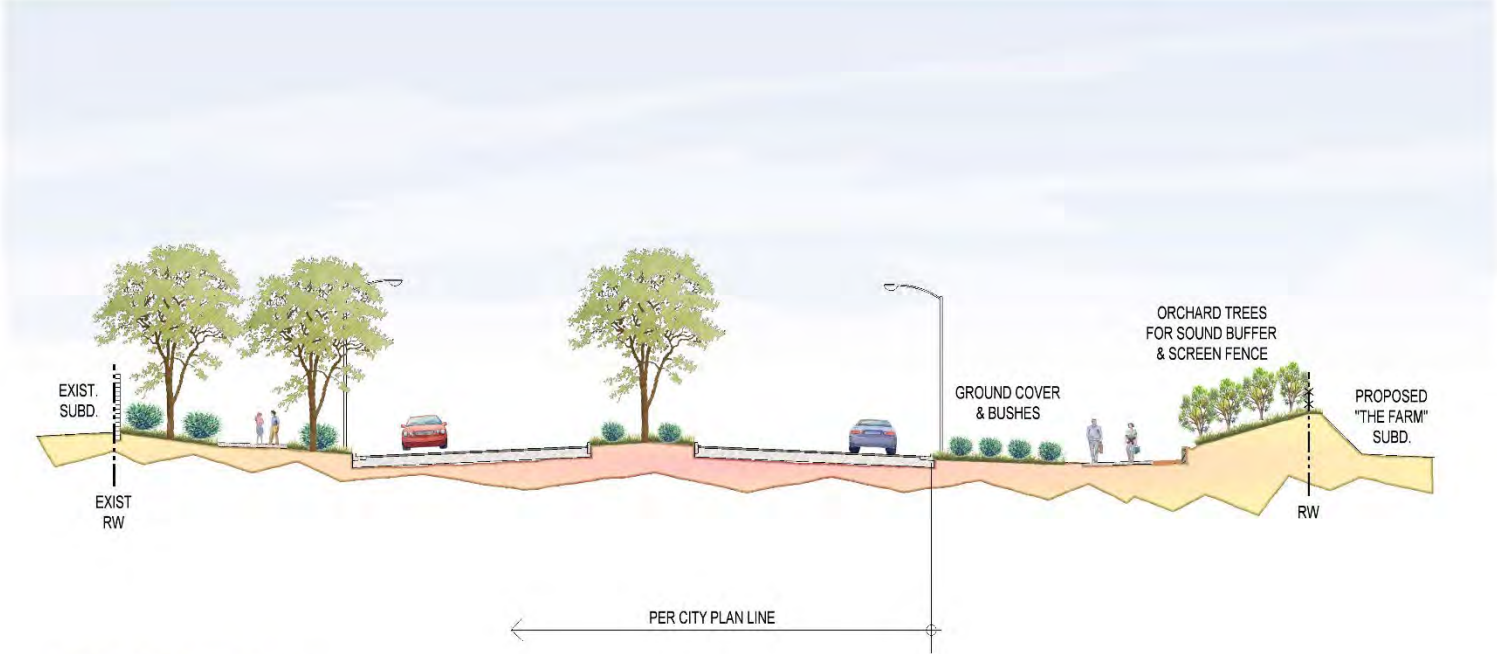
THE FARM
AT ALAMO CREEK

STREET TREE CONCEPT
NOT TO SCALE

FIGURE 7.2

08-11-2022

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LEISURE TOWN ROAD
NOT TO SCALE

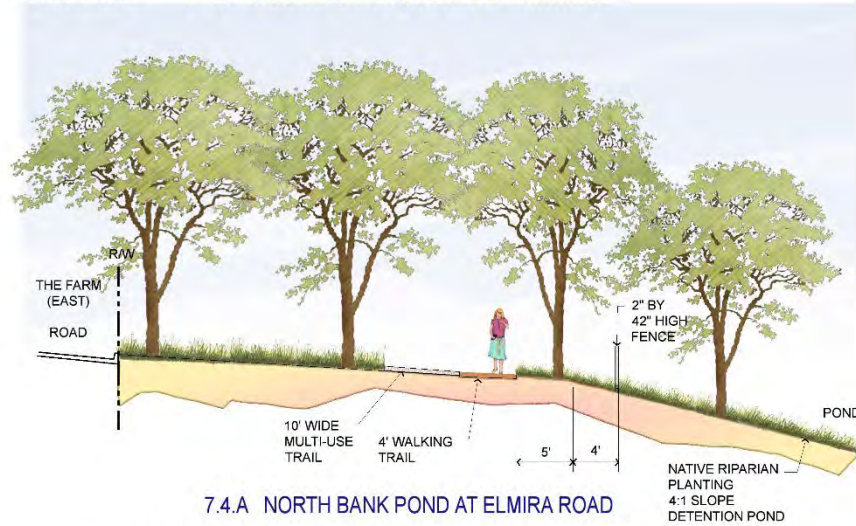
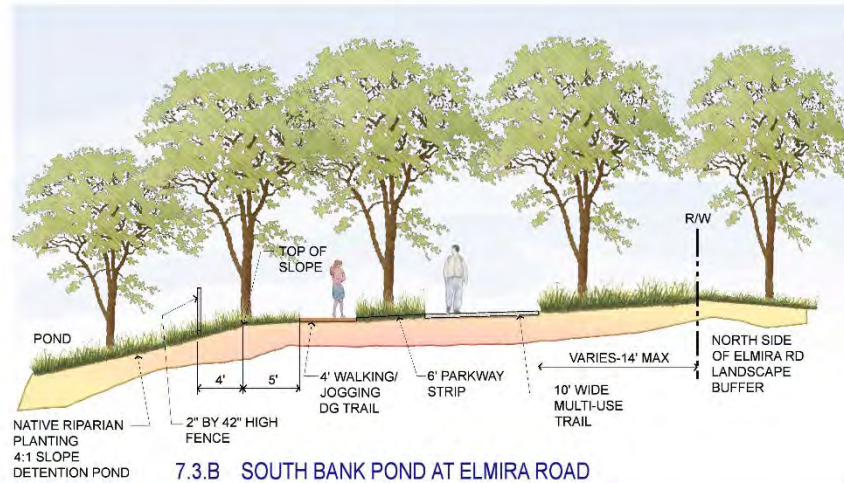
THE FARM
AT ALAMO CREEK

STREET TREE CONCEPT
NOT TO SCALE

FIGURE 7.3

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RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT

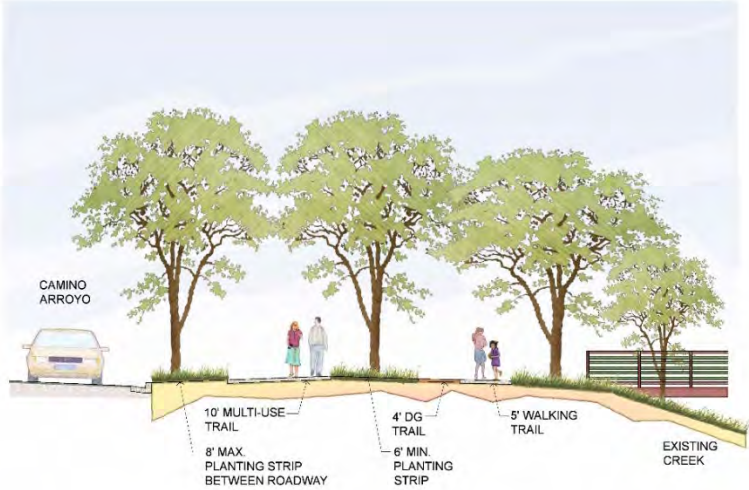


THE FARM
AT ALAMO CREEK

SECTION AT POND
FIGURE 7.3.B & 7.4.A

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NORTH BANK ALAMO CREEK AT CAMINO ARROYO

THE FARM
AT ALAMO CREEK

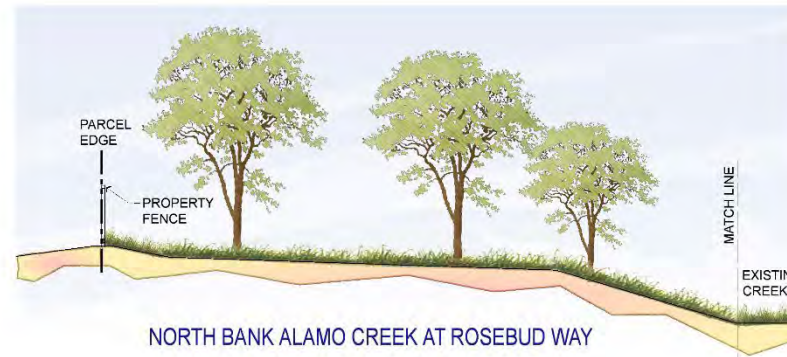
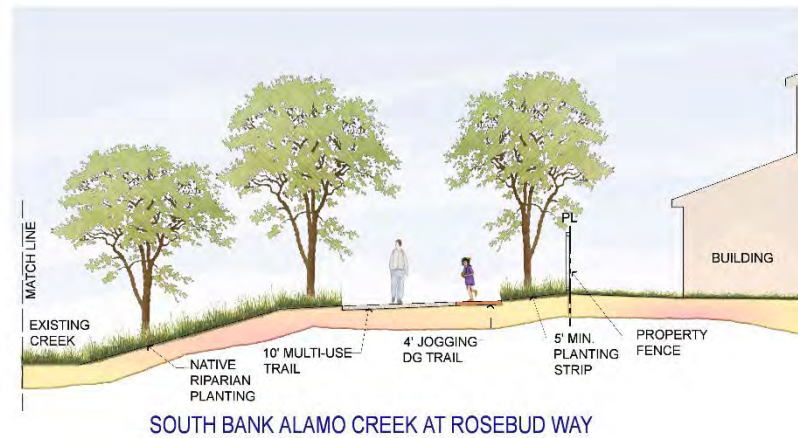
**SECTION OF ALAMO CREEK
AT CAMINO ARROYO**

FIGURE 7.4.B

08-11-2022

Note: The Multi-use trail shown hereon, shall be adjacent to the curb to conform with Figure 6.2.5A and the Approved Tentative Map for The Farm at Alamo Creek.

RECREATION, OPEN SPACE, + RESOURCE MANAGEMENT

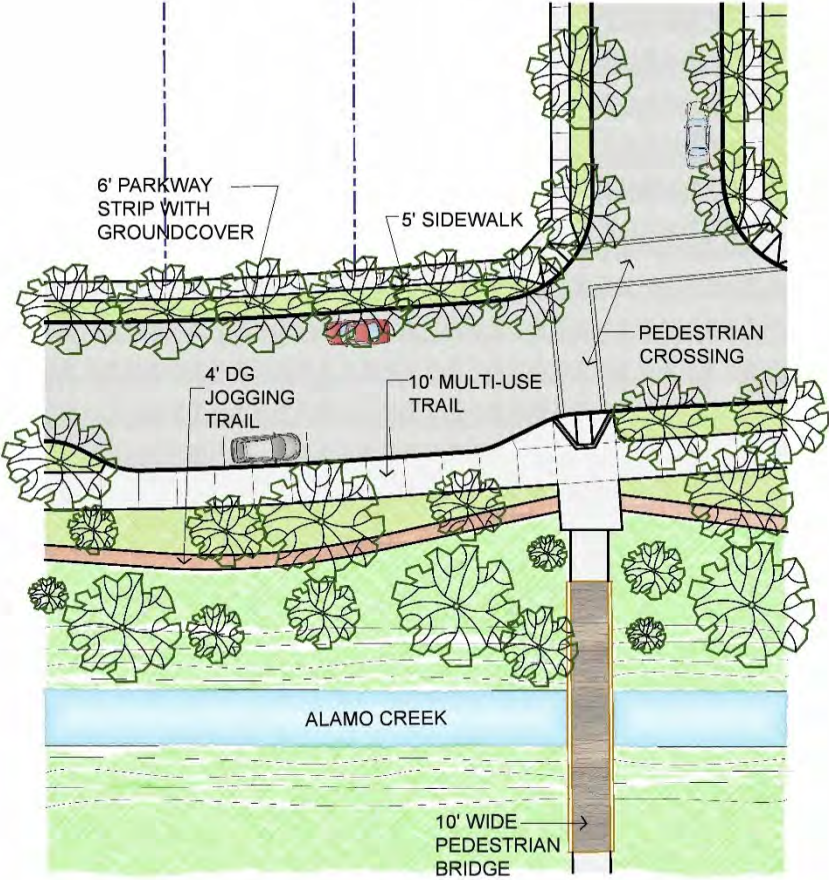


THE FARM
AT ALAMO CREEK

ALAMO CREEK SECTIONS
FIGURE 7.5

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THE FARM
AT ALAMO CREEK

PEDESTRIAN BRIDGE
AT CAMINO ARROYO
NOT TO SCALE **FIGURE 7.6**

08-11-2022

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PUBLIC FACILITIES

8 PUBLIC FACILITIES

8.0 Introduction

8.1 Water Supply

8.2 Sewer

8.3 Storm Drainage

8.4 Storm Water Quality

8.5 Floodplains

8.6 Natural Gas, Electricity, Telephone, and Cable TV

8.0 INTRODUCTION

This section of the Specific Plan provides both general and specific guidelines for the development of future infrastructure facilities necessary to serve The Farm at Alamo Creek development area. The infrastructure facilities covered in this section include water distribution (potable and non-potable), sanitary sewer collection, storm drainage and detention, gas, electric, telephone, and cable TV.

This section's specific purpose is to:

1. Ensure that the project incorporates adequate water and sewer facilities to meet the needs of The Farm at Alamo Creek area.
2. Utilize non-potable water for landscape irrigation within The Farm at Alamo Creek to reduce demand for potable water.
3. Construct Detention Basins to mitigate for increased run-off due to development.
4. Present preliminary sizes of utility components. Final pipe sizes will be based on computer modeling using the City-wide models maintained by the Utilities Department and funded by the developers and will be subject to the approval by the Director of Utilities prior to design approval. On-site piping and utility facilities shall be sized to accommodate the downstream impacts of future development to the north.
5. Identify off-site improvements which are necessary to serve the project.

chapter 8

8.1 WATER SUPPLY

The Specific Plan for The Farm at Alamo Creek is designed to ensure that there are adequate and reliable sources of potable and non-potable water for the area.

8.1.1 Potable Water Supply

Figure 8.1.1 shows the Proposed Water Distribution System with existing and proposed water line sizes. In general, Leisure Town Road will have a 12" water transmission main with 12" water mains in all arterials and collectors. In addition, 12" water mains will be adjacent to and through higher density areas to ensure adequate fire flow. All other streets will contain an 8" or 12" water lines with domestic services and fire hydrants as required to serve the development. It should be noted that in order to serve the water demands of the Specific Plan area, the expansion of the City's water system will be required. This expansion will be accomplished through payment of Water Impact Fees and the installation of water facilities as outlined in this Specific Plan.

Each developer will be responsible for construction of their portion of the water lines shown on the Proposed Water Distribution System. Each developer will be required to demonstrate that the proposed phasing of each water line installation, including buildout, will provide for adequate redundancy (looping) and flow to the satisfaction of the Director of Utilities. Water lines that are not within a paved public street shall have a maintenance road installed above said water line to City of Vacaville Standards.

Developers will comply with the City of Vacaville water conservation ordinance (such as low-flow shower heads and toilets) in the construction of the homes. Developers will also use low-flow irrigation systems and drought resistant plant materials to the reasonable extent feasible.

8.1.2 Non-Potable Water Supply

Figure 8.1.2 shows the Proposed Non-Potable Water Distribution System Plan with existing and proposed water line sizes. In general, 8" water mains are to be in all arterials and Carroll Way creating a non-potable looped system within The Farm at Alamo Creek area. 6" and 8" lines are to be located internally as necessary to serve their respective developments. Final design shall conform to City Specifications.

8.1.3 Abandon Existing Wells

Any existing wells on the property shall be abandoned per the Solano County Health Code.

8.1.4 New City of Vacaville Well Site

Within The Farm at Alamo Creek there is a new City of Vacaville Potable Water Well Site. Figure 8.1.3 shows a conceptual site plan for the well site. Final design and construction of the site will be done by the City of Vacaville.

PUBLIC FACILITIES



THE FARM
AT ALAMO CREEK

WATER DISTRIBUTION SYSTEM
FIGURE 8.1.1

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THE FARM
AT ALAMO CREEK

NON-POTABLE WATER DISTRIBUTION SYSTEM
FIGURE 8.1.2

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PUBLIC FACILITIES

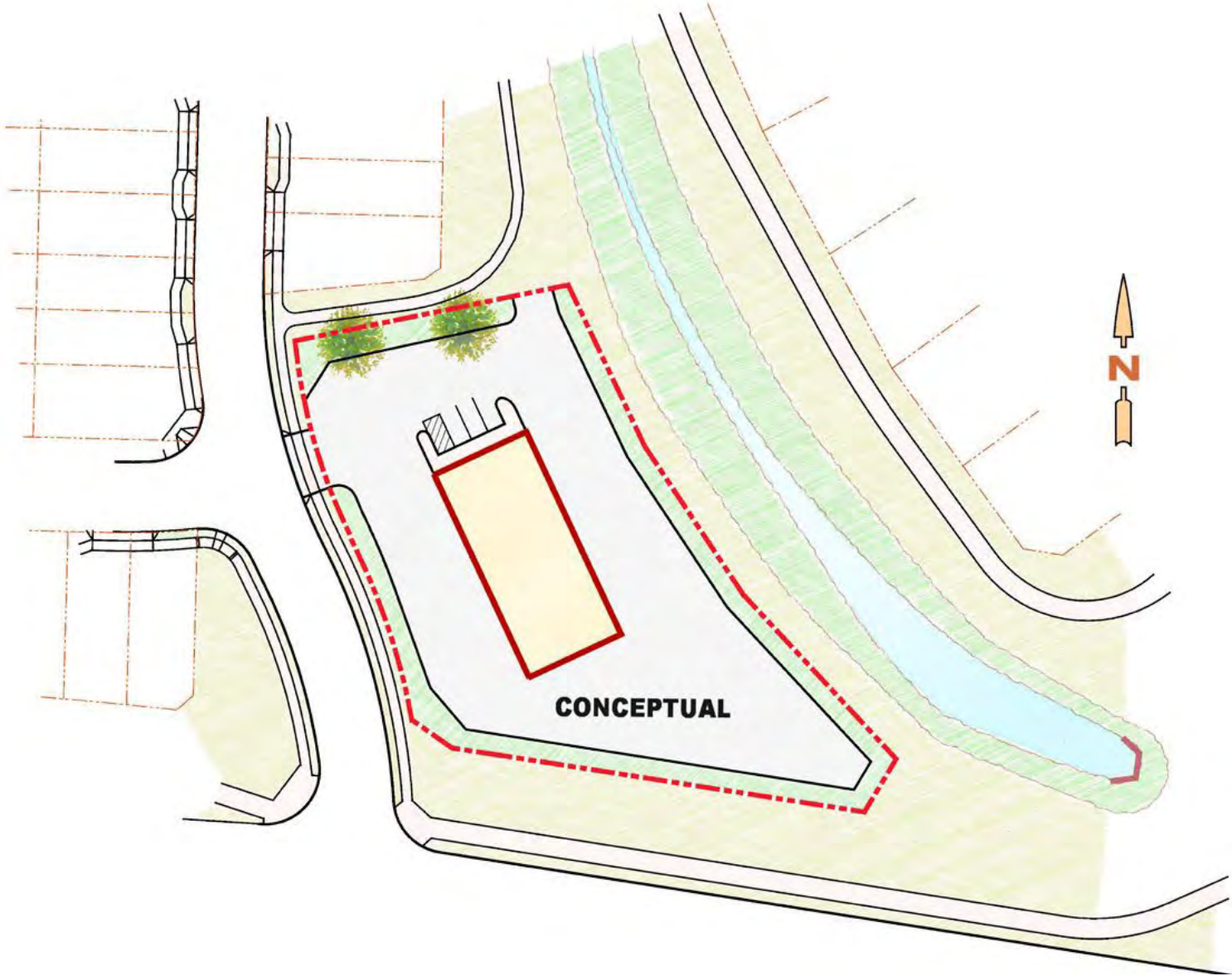


Figure 8.1.3: City Well Site

chapter 8

8.2 SEWER

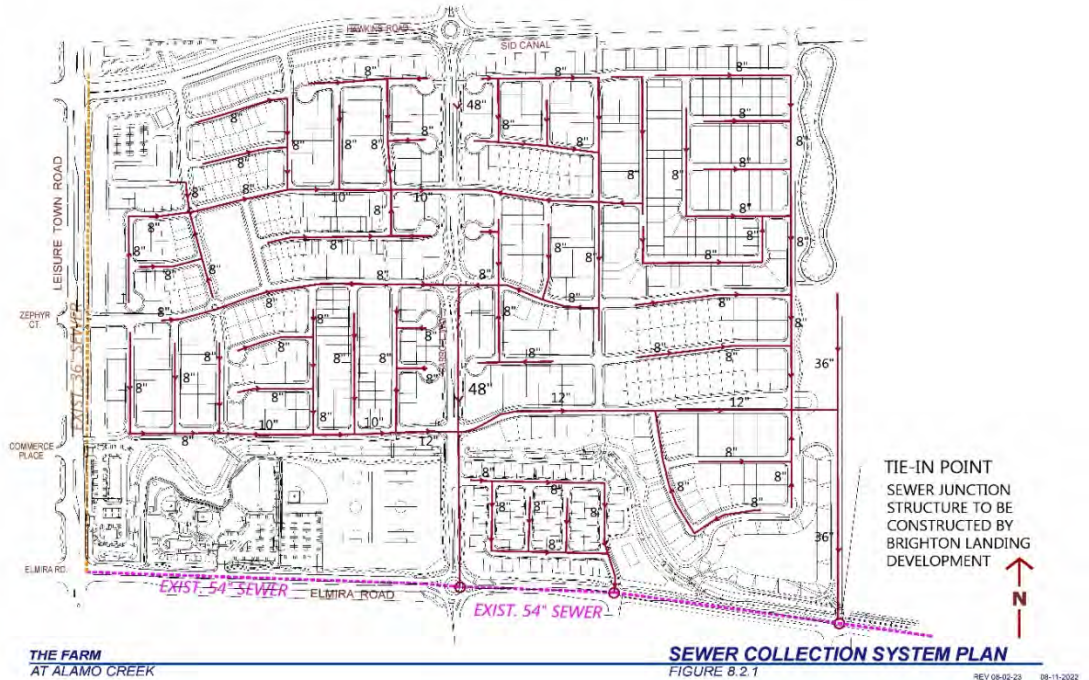
The Specific Plan for The Farm at Alamo Creek is designed to ensure an adequate and reliable wastewater collection system for the area, including the Urban Reserve area.

Figure 8 .2.1 shows the Sewer Master Plan with existing and proposed line sizes. It is noted that the newly adopted City of Vacaville General Plan calls for a 42" Sewer Main in Carroll Way. Per discussions with Citystaff this new sewer main will connect to the 36" Existing Sewer Line in Leisure Town at the Ulatis Drive intersection. This line will then travel from the Leisure Town Road/Ulatis/Hawkins intersection east to Carroll Way. From here the line will become a 42" or 48" line (size to be determined by subsequent analysis) and travel south along Carroll Way to Elmira Road. At Elmira Road, the line will then travel east to a junction box installed with the Brighton Landing Development.

An 18" line in Carroll Way will be installed to serve Phase 1. Ultimately, with completion of the 42" or 48" sewer main, this 18" line will be abandoned. In general, the remaining streets will have a minimum of an 8" line and within a small number of streets, 10" and 12" lines will be installed. Sewer sizes in each street will be determined by a subsequent detailed sewer analysis.

Each developer will be responsible for construction of their portion of the sewer lines shown on the Sewer Master Plan. Each developer will be required to demonstrate that the proposed phasing of each sewer line installation, including full buildout, will provide for adequate collection and conveyance of wastewater to the satisfaction of the Director of Utilities. Sewer lines that are not within a paved public street shall have a maintenance road above said sewer line to City of Vacaville Standards.

8.2.1 Abandon Existing Septic Tanks and Leach Fields
Any existing septic tanks and leach fields shall be abandoned per Solano County Health Code.



8.3 STORM DRAINAGE

8.3.1 Existing Setting

Discussion regarding storm drainage for The Farm at Alamo Creek begins in the Town of Elmira. It is widely known that during major storm events Alamo Creek in the Town of Elmira experiences a dramatic increase in the hydraulic grade line and in some cases overtopping of the banks. The Farm at Alamo Creek has commissioned West Yost Associates to conduct a comprehensive review of Alamo Creek including the improvements necessary to adequately convey existing flow through the Town of Elmira. Topographic surveys of the Creek have been completed and initial indications are that one culvert will need to be removed near the corner of 'B' Street at Water Street.

Alamo Creek traverses The Farm at Alamo Creek property, and the location of the creek has changed over the years with agricultural operations and natural movement. A culvert in the creek at a farm crossing is crushed and completely blocked such that no water goes through. Thus, when flow in the creek gets to this culvert, the water level simply rises and exits across the open farmland.

8.3.2 Completion of Storm Drainage Improvements

The Farm at Alamo Creek will participate in the cost to remove this failed culvert to allow flow to occur. At the southeast corner of the project area, a detention basin will be created to manage peak flows. There is a high ground water table (about 6-8 deep) and the basin will be excavated to approximately 15 feet below existing grade to create a year-round water body. Alamo Creek will be reconstructed adjacent to Elmira Road to the bridge crossing in Elmira Road at the east end of the Papin property (see Figure 8.3.1).



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Figure 8.3.1: Off-site Storm Drain Improvements

PUBLIC FACILITIES



THE FARM
AT ALAMO CREEK

STORM DRAIN MASTER PLAN
FIGURE 8.3.2

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PIPE FOR FIRST FLOWS &
LOW FLOWS TO EXISTING
OLD ALAMO CREEK
(SIZE TO BE DETERMINED)

1,450 LF± OVER FLOW PIPE TO
EXISTING BOX CULVERT
(SIZE TO BE DETERMINED)
SEE FIGURE 6.3.2

chapter 8

8.4 STORM WATER QUALITY

The Farm at Alamo Creek project is committed to fulfilling its Clean Water Runoff requirements. As required by the Regional Water Quality Control Board the project will have a Stormwater Pollution Prevention Plan (SWPPP) for the project along with identifying the Best Management Practices (BMPs) planned for implementing and maintaining procedures outlined in the SWPPP.

The developer shall prepare and implement a Best Management Plan for the project. The detention basin will serve as the BMP water quality feature for the entire project and will be implemented with the first Small Lot Final Map. Individual Storm Water Pollution Prevention Plan (SWPPP) will be implemented on a phased basis for each subsequent Small Lot Final Map.

The Project SWPPP shall identify all Best Management Practices (BMPs) planned for implementation during and following project construction, including Source Control BMPs, Treatment Control BMPs and Post-Construction BMPs. The detention basin mentioned previously is intended to serve as a regional detention basin and as The Farm at Alamo Creek Post Construction Storm Water Quality BMP device.

The Alamo Creek Improvements described in Section 6.4 above have been designed to minimize any increased potential for erosion or flooding.

8.5 FLOODPLAINS

Portions of The Farm at Alamo Creek area (primarily along Old Alamo Creek) are within a floodplain, as depicted on FEMA's Flood Insurance Rate Map (FIRM) Community Panel Numbers 06095C0281E dated May 4, 2009.

With the improvements to Alamo Creek previously discussed, it is anticipated that the property will no longer be in a floodplain. This information will be verified by the study being prepared by West Yost Associates. It should be noted that to remove the floodplain designation, the CLOMR/LOMR process must be followed.

8.6 NATURAL GAS, ELECTRICITY, TELEPHONE, AND CABLE TV

Gas and electric will be provided by Pacific Gas & Electric (PG&E). Telephone will be provided by SBC, and cable television will be provided by Comcast. All new utilities within the Specific Plan area will be underground. The existing overhead lines within the Specific Plan will be placed underground to the limits of the proposed project. Unique to the Fields portion of the plan the development will be all electric with no natural gas service.

During the improvement plan design process, the City of Vacaville and the developer will work with the utility companies to locate their transmission line corridors within the rights-of-way for streets.

During the improvement plan design process, the City of Vacaville and the developer will work with the utility companies to ensure that all new utilities and utility vault appurtenances will be placed underground in accordance with the Vacaville Municipal Code.

PUBLIC FACILITIES

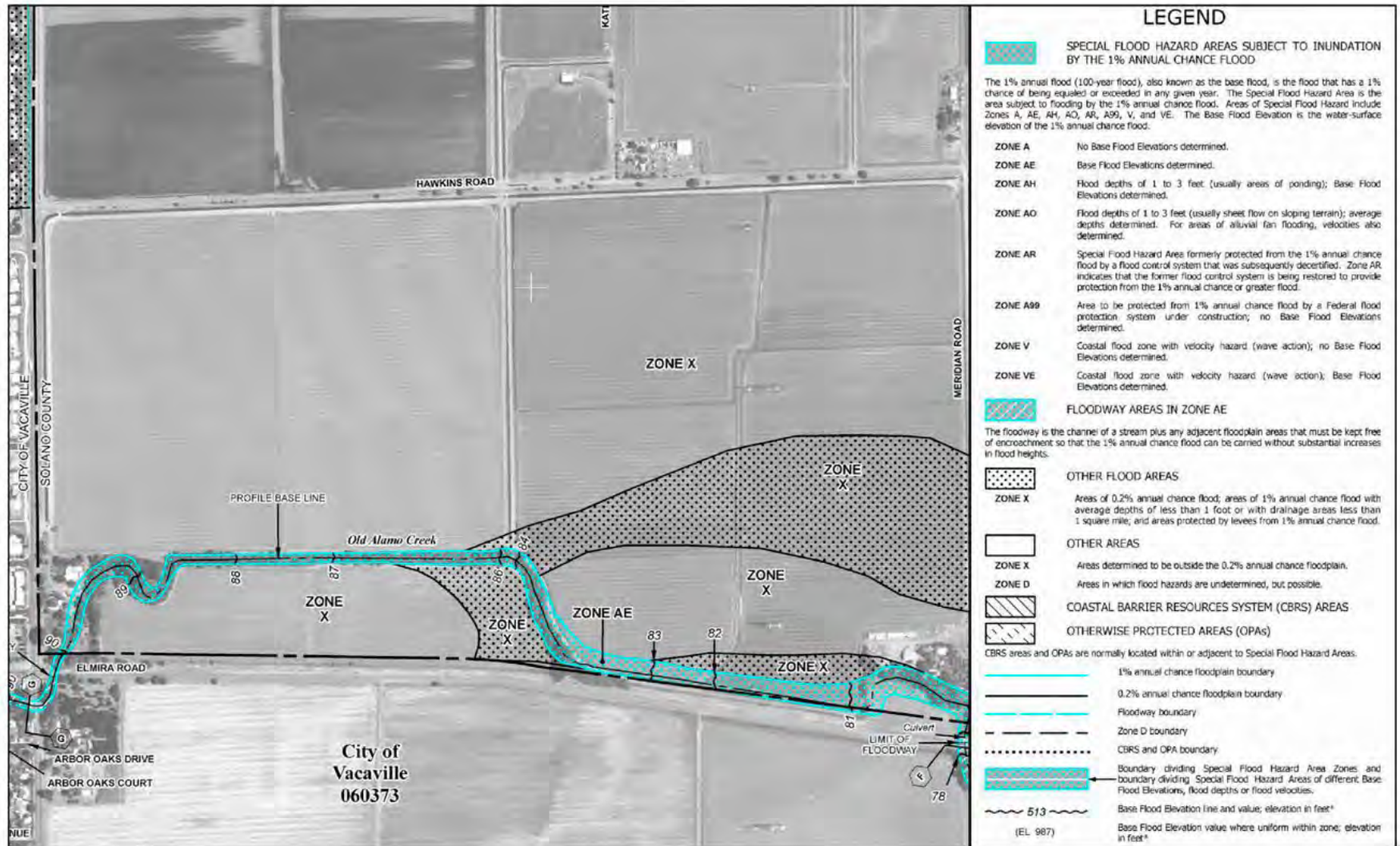


Figure 8.4: Existing FEMA Map

chapter 8



**THE FARM
AT ALAMO CREEK**

**PROPOSED DRY UTILITIES
FIGURE 8.5**

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chapter 9

COMMUNITY SERVICES + FACILITIES

9 COMMUNITY SERVICES AND FACILITIES

- 9.0 Introduction
- 9.1 Fire Protection
- 9.2 Police
- 9.3 Parks and Recreation
- 9.4 Schools
- 9.5 Solid Waste

9.0 INTRODUCTION

The Farm at Alamo Creek Development area will be annexed into Community Facilities District 11 (CFD 11) prior to development or issuance of building permits. CFD 11 is known as the Public Safety District and ensures adequate staffing for Police and Fire Protection in new development areas. The annexation into CFD 11 will take place with the recording of each Small Lot Final Map within the development.

A fiscal analysis was prepared for the Fields to determine the annual fiscal impact to the city for services provided. The Fields fiscal analysis identified the project as fiscally positive without financial augmentation such as a CFD. Although a CFD is not necessary to cover the cost of city services including police and Fire the project proposes annexation into CFD 8. With annexation into CFD 8 the Fields fiscal benefit to the City will be enhanced. The annexation into CFD 8 will take place with the recording of the Small Lot Final Map for the development.

chapter 9

9.1 FIRE PROTECTION

The Farm at Alamo Creek **and Fields** will be served by the Vacaville Fire Department upon annexation to the City of Vacaville. As mentioned above, annexation into CFD 11 **and CFD 8** will ensure adequate staffing for the area.

All homes within the development shall have residential sprinkler systems as required by State Law and City Ordinance.

Fire Hydrant spacing along the trails will meet the spacing requirements for hydrant spacing along City streets.

9.2 POLICE

The Farm at Alamo Creek **and Fields** will be served by the Vacaville Police Department upon annexation to the City of Vacaville. As with fire protection, annexation into CFD 11 **for the Farm at Alamo Creek and CFD 8 for the Fields** will ensure adequate staffing for the area.

9.3 PARKS AND RECREATION

As described in Chapter 2 there are numerous private and public parks proposed within The Farm at Alamo Creek Specific Plan area which significantly exceeds the City of Vacaville requirements for neighborhood parks in a development area of this size. These parks, when combined with the extensive trail system, will provide numerous outdoor recreational opportunities for the future residents within the area.

The private parks along with each section of trail within The Farm at Alamo Creek will be constructed by the developer responsible for that portion of the project.

The Development Agreement shall clarify the proposed maintenance responsibilities and funding mechanisms (e.g., Lighting and Landscape Maintenance District and Park Maintenance District, city

forces etc.) that will provide for the maintenance of The Farm at Alamo Creek Public Parks (including the Play-4-All Park, the Community Park, and the Alamo Creek trails).

The Farm at Alamo Creek Park Master Plan shall be developed by the City Staff in conjunction with the Community Services Commission.

The developers of The Farm at Alamo Creek Specific Plan area shall incorporate park and trail facilities to meet the neighborhood park standards specified in the City of Vacaville General Plan for new developments:

Ensure, as part of the approval process, that each new development provides its fair share of planned park and trail facilities as shown on Figures 2.3, 4.2 and 5.1.

The acreage of these park and trail areas shall meet or exceed the minimum total neighborhood park acreage as specified in the City of Vacaville General Plan for new land use areas.

The Fields portion of the plan area is not subject to a Development Agreement. The private park will be developed by the developer without City Park credits and privately maintained by an HOA. Given that the Fields has no public parks a parks master plan will not be required. The private park improvements shall be reviewed with the subdivision improvement plans for the phase in which the park falls.



COMMUNITY SERVICES + FACILITIES

9.4 SCHOOLS

The Farm at Alamo Creek **and Fields** Specific Plan area is within the Vacaville Unified School District boundaries. The School District, in their latest master plan studies, has determined that there is a need for new school facilities in the Brighton Landing area which is just south of The Farm at Alamo Creek. It is anticipated that the School District will need to construct facilities to house an expected student population of approximately 600-650 elementary and middle school students with full build out of Brighton Landing, The Farm at Alamo Creek, and Roberts Ranch. The facilities will either be an Elementary School and a Middle School or a combined K-8 School. That determination will take place as development occurs within the area.

It is anticipated that the Scholl District will proceed with construction based on the pace of development within the area. The school(s) will be constructed using school impact fees paid by the developers as houses are constructed in the area.



9.5 SOLID WASTE

Recology has the exclusive right to provide collection and hauling services for solid waste, recyclables, and yard waste as well as street sweeping services in the City of Vacaville through a franchise agreement, subject to limited exceptions stated in the Vacaville Municipal Code.

All development within The Farm at Alamo Creek **and Fields** Specific Plan area shall provide adequate areas for the placement of refuse bins and totes within their respective development areas.





chapter 10

IMPLEMENTATION

10 IMPLEMENTATION

- 10.1 Administration of the Specific Plan
 - 10.2 Development Review
 - 10.3 Project Phasing for Infrastructure
 - 10.4 General Notes for Development
 - 10.5 Funding Mechanisms
 - 10.6 Maintenance
- 10.7 Procedure for Amending the Specific Plan

10.1 ADMINISTRATION OF THE SPECIFIC PLAN

The Farm at Alamo Creek Specific Plan will be used to direct the processing of future development projects within the planning area. Since there is an extended timeframe for development, and the likelihood that multiple developers will be involved in the development of The Farm at Alamo Creek Specific Plan Area, the following responsibilities and procedures will be necessary to review, monitor, coordinate and integrate the stages of development.

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10.1.1 Responsibilities for Administration of the Specific Plan

Implementation of The Farm at Alamo Creek Specific Plan will be a joint effort between the City of Vacaville and any developer who is proposing to develop in the Specific Plan area. Each developer within the Farm at Alamo Creek Specific Plan area will be required to enter into a development agreement with the City or similar agreement.

For properties not entering into a development agreement prior to annexation, the zoning established through annexation is contingent on the property owner entering into such an agreement. The agreement will contain terms comparable to those agreements entered into prior to annexation including payment of impact fees, annexation fees, and other charges, and inclusion into applicable Community Facility Districts and Landscape and Lighting Districts. In the interim, the property may be used to the same extent as would have been allowed prior to annexation.

Given the limited scope and structure of the Fields which voluntarily participates in CFD 8 a development agreement is not necessary. For these reasons the Fields portion of the plan is not subject to a development agreement.

10.2 DEVELOPMENT REVIEW

The purpose of this section is to specify the steps required to review new development projects within The Farm at Alamo Creek Specific Plan Area. All development projects proposed under this Specific Plan are to be reviewed in accordance with the provisions of the zoning code related to Specific Plans and Policy Plans. Review processes included in this section may be carried out concurrently.

All development within The Farm at Alamo Creek area must be consistent with the Specific Plan. Where standards are not contained within the Specific Plan the development must be in compliance with the Vacaville Municipal Code.

Accompanying this Specific Plan is a Tentative Map application. As presented, the Tentative Map conforms to the provisions of the Specific Plan. After approval, any modification to the Tentative Map shall be reviewed for substantial compliance and may require additional review and processing to conform with the Specific Plan.

The developer may amend the Specific Plan from time to time as may be needed. If the amendment is relatively minor, the amendment may be approved administratively by the community development director. Major amendments shall be subject to review and approval by the planning commission.

10.2.1 Mitigation Monitoring

A program to monitor mitigation measures, adopted as a part of The Farm

at Alamo Creek Specific Plan and Development Environmental Impact Report, shall be carried out for all such affected projects in order to ensure compliance with the required mitigation measures during project implementation. An annual review for compliance of the required mitigation measures will be conducted as part of the Development Agreement Review process.

10.2.2 Project Master Utility Plans and Fair Share Cost Allocation

Given the size of The Farm at Alamo Creek Specific Plan and the anticipated timeframe for buildout, a Master Utility Plan needs to be filed with the City Utilities Division detailing the required infrastructure to be installed by each developer. As each set of improvement plans is submitted for each phase of the project, the improvement plans and final map will be evaluated based on the Master Utility Plan to specifically determine the improvements required for each map.

With respect to fair share cost allocations for the infrastructure installed, it is anticipated that a Benefit District (approved by the Vacaville City Council) will be prepared to establish the method of cost distribution.

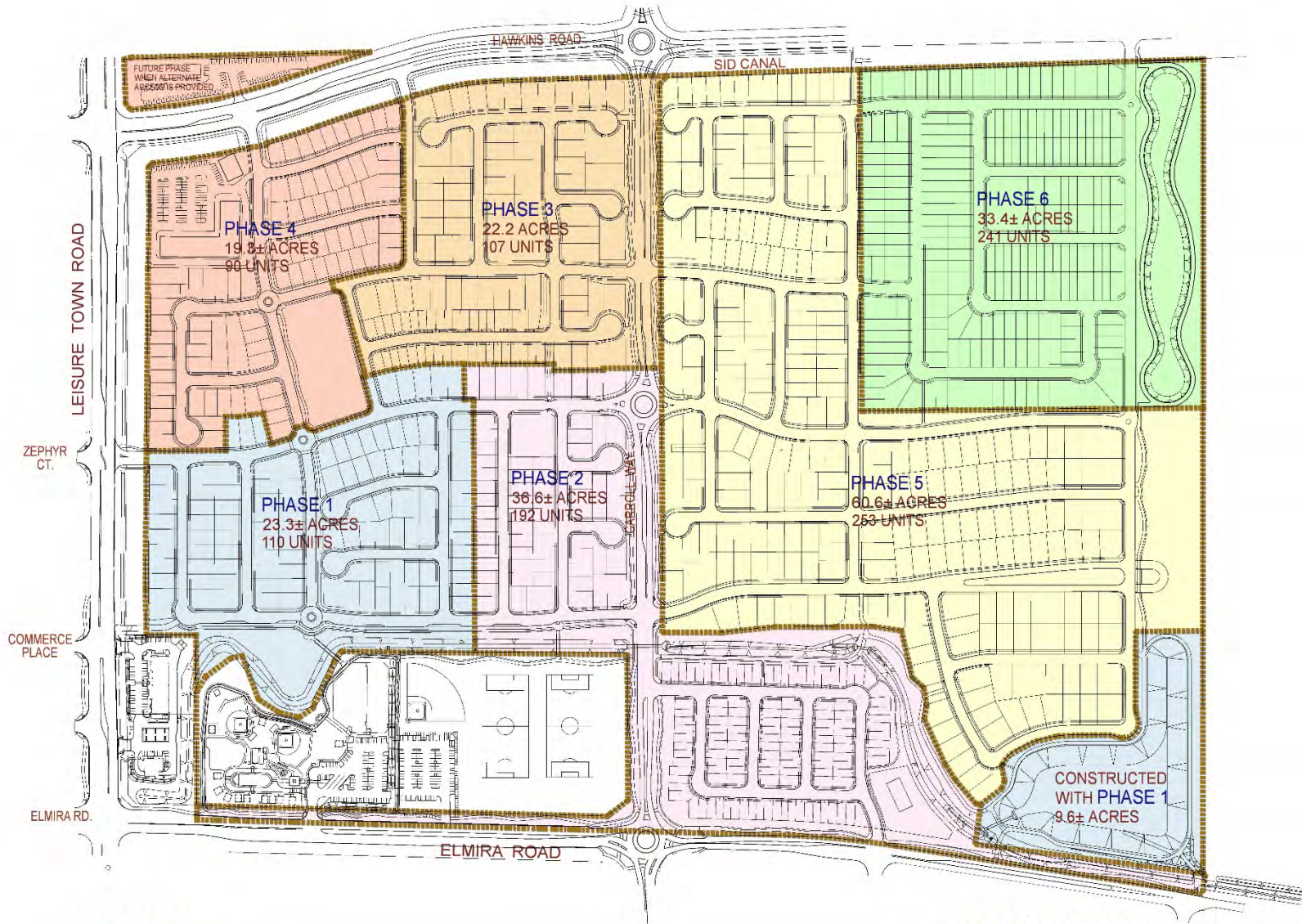
10.2.3 Public Improvements

All improvements within City owned property, (parks, open space, landscape corridors, etc.) or Rights of Way are subject to review and approval by Public Works. These improvements include, but are not limited to color/textured materials, enhanced cross walks, monument signage, art, way finding signage, bikeracks, special lighting, street furniture, etc. The maintenance and replacement cost shall be addressed in the Development Agreement or the Lighting and Landscaping District.

10.3 PROJECT PHASING FOR INFRASTRUCTURE

There are three private property owners within The Farm at Alamo Creek Project area: the Vacaville S2 Investors LLC Property comprising 139.6 Acres; G&W Holdings LLC comprising 33.6 acres, the Papin property comprising 3.4 Acres; and one quasi-public owner the Solano Irrigation District property consisting of 5.6 acres. It is anticipated that the Vacaville S2 Investors LLC property will develop first as "The Farm at Alamo Creek". Further, it is expected that The Farm at Alamo Creek will develop in five or more phases and the Fields may develop in multiple phases as provided by the tentative subdivision map. The phasing plan shown on Figure 10.0 is preliminary and subject to change. The intent of this Section is to identify the infrastructure improvements that will be required with each phase of development.

IMPLEMENTATION



THE FARM
AT ALAMO CREEK

PHASING PLAN
FIGURE 10.0

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10.3.1 Phase 1

This area is bounded by Camino Beltran to the north, Paddock Street to the east, Camino Arroyo (along Alamo Creek) to the south and Leisure Town Road to the west. It comprises 23.7 acres and totals 108 single family units (See Figure 10.1) The major amenities infrastructure to be installed with this Phase are as follows:

- Detention Basin – With development of the first phase a detention basin will be constructed just off Alamo Creek to handle high storm water flows. And since the ground water is very high in the area (6-8 feet below ground elevation), it was decided to excavate the basin to approximately 15 feet deep which will allow for a year-round water amenity that is 7-9 feet deep. The basin will have an aeration fountain in addition to landscaping to create a park-like setting for the residents to enjoy. The park-like setting and landscaping will be installed with Phase 2.
- Alamo Creek improvements throughout the Town of Elmira. It is anticipated that 1 culvert within Alamo Creek will need to be removed near the corner of Water Street at 'B' Street. It is also anticipated that some removal of blackberry bushes west of the railroad tracks will need to occur to improve flow in the Creek.

The detailed Infrastructure Improvements with development of Phase 1 are as follows:

Roads – Leisure Town frontage improvements from Elmira Road to and along Phase 1 shall be installed. Full improvements shall be installed for Camino Beltran, Camino Arroyo, and Paddock Street along with the interior residential streets. The backup landscaping on Leisure Town Road will consist of 24 feet of low-level landscaping as this area may one day be needed for widening of Leisure Town to 6 lanes. In addition, the developer will install a

5:1 mound sloping up to the rear property line of the development. On the slope, an orchard will be installed to set the tone for the development and create a sense of place. See, also General Notes in Section 8.4.

Sewer – The sewer from this area will be conveyed east through 8" and 10" sewer lines along the future alignment of Camino Arroyo to an 18" sewer line installed in the future alignment of Carroll Way. The 18" sewer line will connect to the existing 54" sewer main in Elmira Road.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by the City's consultant. It is anticipated that with Phase 1, 12" water lines will be installed in Camino Arroyo and Camino Beltran with 8" lines installed in the other residential streets.

Storm Drainage – Drainage from this area will be conveyed through storm drain lines to Alamo Creek. With Phase 1 development, the Detention Basin will be installed along with restoring Alamo Creek from the detention basin to the box culvert under the Elmira Road in a culvert. This high flow pipe will effectively convey flood waters around the Papin property and back into Alamo Creek.

In addition to the on-site improvements, drainage improvements in the Town of Elmira will be completed with Phase 1 improvements. It is anticipated that the culvert at Water Street at 'B' Street will be removed.

Required Easements - One right of entry agreement may be required for the culvert removal near the corner of Water Street at 'B' Street.

IMPLEMENTATION



Figure 10.1: Phase 1 Plan

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Figure 10.1.1A: Phase 1 Detention Basin

10.3.2 Phase 2

This area is bounded by Camino Beltran to the north, Carroll Way and Alamo Creek to the east, and Elmira Road to the south. This phase comprises 35.8 acres and totals 64 single family homes and 124 duet units (See Figure 8.1). The major amenities infrastructure to be installed with this Phase are as follows:

- The South Pocket Park – This small pocket park, developed with Phase 2 of the project, will be privately owned, and maintained by the Homeowners Association.
- A Park-like setting surrounding Detention Basin. As mentioned previously, the detention basin will be installed with Phase 1 to address flooding and water quality requirements. In Phase 2, the park-like setting will be installed around the basin to create an amenity for the residents.
- Trails along Alamo Creek along with improvements to the Natural Park adjacent to Alamo Creek. Trails and associated landscaping will be installed along Alamo Creek. On the north side of Alamo Creek near the intersection of Camino Arroyo and Camino Hacienda there is a large grove of older trees. This area will be cleaned and pruned to create a natural park that comprises approximately 1 acre.

The detailed Infrastructure Improvements with development of Phase 2 are as follows:

Roads – Carroll Way improvements from Elmira Road (including completion of the Carroll Way/Elmira Road Roundabout) and along the Phase 2 frontage shall be installed. Widening improvements along Elmira Road shall be installed. Full improvements shall be installed for Camino Beltran and Camino Arroyo along with the interior residential streets. See, also General Notes in Section 8.4.

Sewer – The 42" or 48" Sewer Truck Main (size to be determined) will be installed from the Junction Box (installed with the Brighton Landing Project at the existing 54" Sewer Main) west to Carroll Way, then north along Carroll Way to the northern boundary of Phase 2.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by the City's consultant. It is anticipated that with Phase 2, 12" water lines will be installed in Carroll Way, Camino Arroyo, and Camino Beltran with 8" lines installed in the other residential streets.

Storm Drainage – Drainage from this area will be conveyed through storm drain lines to Alamo Creek and the detention basin installed in Phase 1.

Required Easements – None anticipated. The City of Vacaville may be required to obtain additional right of way for the widening of Elmira Road.

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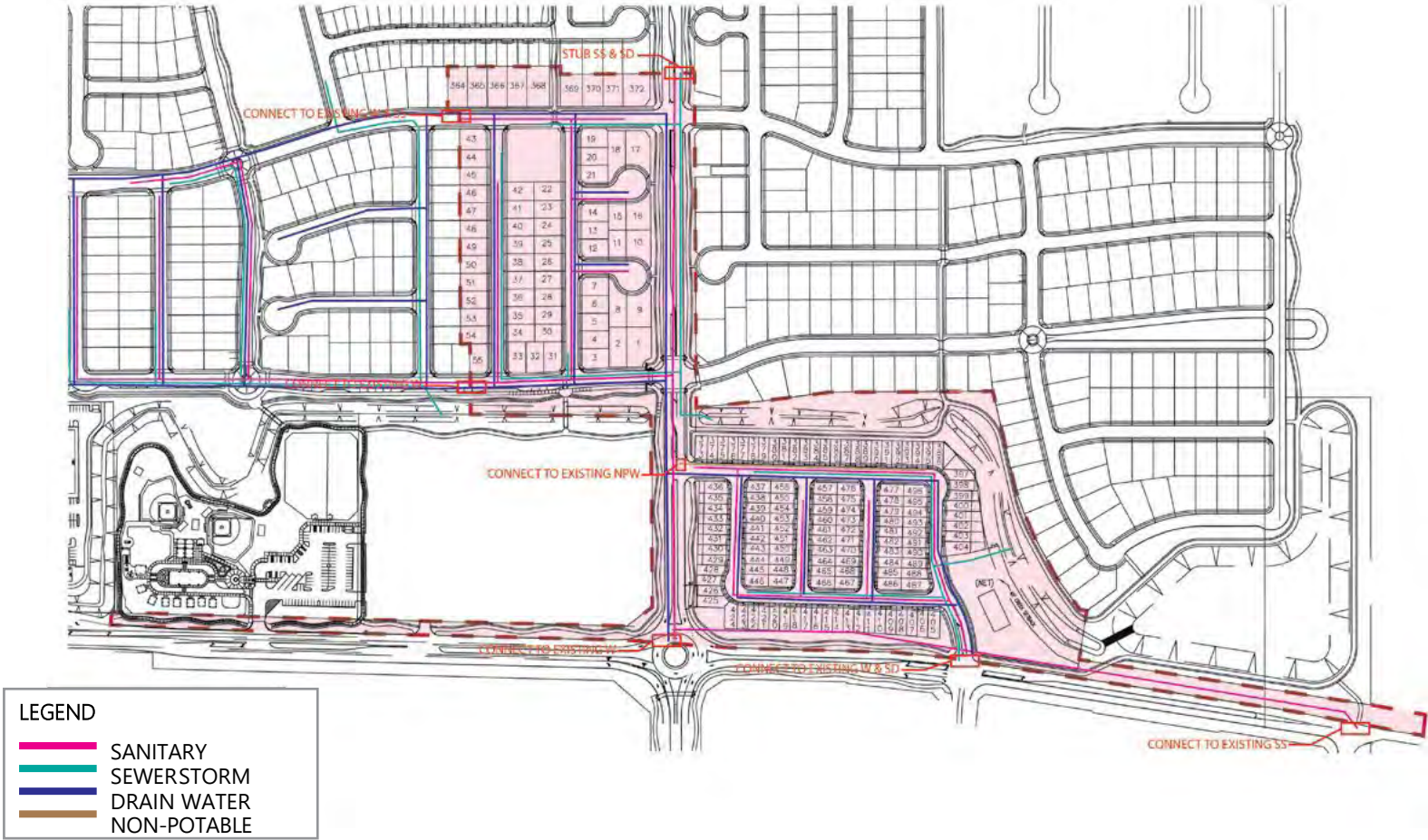


Figure 10.2: Phase 2 Plan

10.3.3 Phase 3

This area is bounded by Hawkins Road to the north, Carroll Way to the east, Phase 1 and 2 to the south and the Community Center to the west. The Phase comprises 23.4 acres and totals 68 single family homes and 40 duet units.

The major amenities infrastructure to be installed with this Phase are as follows:

- The North Pocket Park – This small pocket park, developed with Phase 3 of the project, will be privately owned, and maintained by the Homeowners Association.
- Carroll Way – This important collector street will be completed north to Hawkins Road.
- Hawkins Road – This arterial will be reconstructed, widened, and re-aligned from Carroll Way west to meet Ulatis Road at Leisure Town Road.

The required Infrastructure Improvements with development of Phase 3 are as follows:

Roads – Hawkins Road frontage improvements along Phase 3 shall be installed. Full improvements shall be installed for Carroll Way along with the interior residential streets. See, also General Notes in Section 8.4.

Sewer – The 42" or 48" Sewer Trunk Main will be extended along Carroll Way to Hawkins Road then along Hawkins to the western boundary of Phase 3. Internal Phase 3 sewer will be conveyed east through 8" and 10" sewer lines to the 42" or 48" sewer line installed in Carroll Way.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by City's consultant. It is anticipated that with Phase 3, 12" water lines will be installed in Carroll Way, Hawkins Road in the street fronting the duet lots and around the Community Center. 8" lines shall be installed in the other residential streets.

Storm Drainage – Drainage from this area will be conveyed through storm drain lines in Carroll Way into Alamo Creek.

Required Easements – None anticipated.

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Figure 10.3: Phase 3 Plan

10.3.4 Phase 4

This area completes The Farm at Alamo Creek west of Carroll Way and is bounded by Hawkins Road to the north, Phase 3 to the east, Phase 1 to the south and Leisure Town Road to the west.

This Phase comprises 23.7 acres and totals 92 single family residential units plus 20 multi-family units in the small remnant parcel on the north side of realigned Hawkins Road. In addition, there is a 4.4-acre commercial site.

The major amenities infrastructure to be installed with this Phase are as follows:

- Community Center Clubhouse and Pool – The Community Center Clubhouse and Pool will be owned and operated by The Farm at Alamo Creek Homeowners Association.
- Hawkins Road – This arterial will be reconstructed and widened along the Phase frontage and includes realignment of Hawkins to meet Ulati Drive at Leisure Town Road.
- Completion of Leisure Town Road widening and backup landscaping including the orchard.
- Development of the Neighborhood Commercial site to serve The Farm at Alamo Creek and surrounding communities.

The required Infrastructure Improvements with development of Phase 4 are as follows:

Roads – Leisure Town frontage improvements along Phase 4 shall be installed. Full improvements shall be installed for Camino Hacienda along with the interior residential streets. See, also General Notes in Section 8.4.

Sewer – The sewer from this area will be conveyed east through 8" and 10" sewer lines to the 42" or 48" sewer line installed in Carroll Way. The 18" sewer line will connect to the existing 54" sewer main in Elmira Road.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by the City's consultant. It is anticipated that with Phase 4, 12" water lines will be installed in Hawkins Road and Camino Hacienda with 8" lines installed in the other residential streets.

Storm Drainage – Drainage from this area will be conveyed through storm drain lines to Alamo Creek.

Required Easements – None anticipated.

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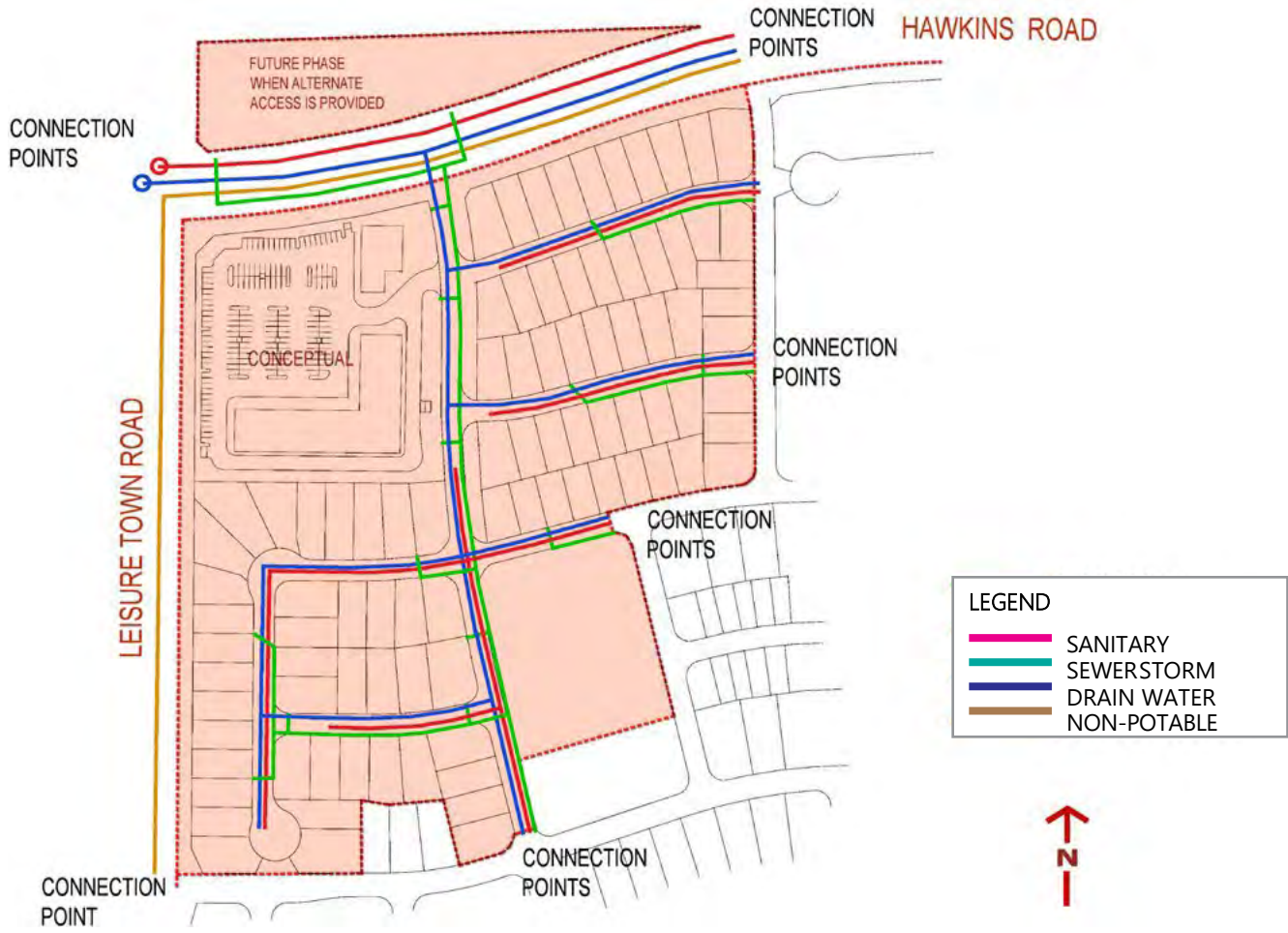


Figure 10.4: Phase 4 Plan

10.3.5 Phase 5

This is the area east of Carroll Way and extends to the power lines on the east. This phase totals 61.0 acres and consists of low residential density housing and the agricultural buffer on the east. There are 90 RL-5 lots and 162 RL-6 lots.

The major amenities infrastructure to be installed with this Phase are as follows:

- Open Space Buffer and Interface with farming operation to the east. It is anticipated that a small farm stand could be set up in the summer to sell produce grown on the farm to enhance the “farm to table” nature of the community.

The required Infrastructure Improvements with development of Phase 5 are as follows:

Roads – Hawkins Road shall be completed from Carroll Way east to the project limits. In addition, interior streets shall be installed to complete The Farm at Alamo Creek Street Network. See also General Notes in Section 8.4.

Sewer – The sewer from this area will be conveyed west through 8” and 10” sewer lines to the 48” sewer line installed in Carroll Way. The 48” sewer line will connect to the existing 54” sewer main in Elmira Road.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by the City’s consultant. It is anticipated that with Phase 5, 8” lines will be installed in the interior residential streets.

Storm Drainage – Drainage from this area will be conveyed through storm drain lines to Alamo Creek.

Required Easements – None anticipated.

10.3.6 The Fields at Alamo Creek – Phase 6

This is the area east of Farmer Lane and north of Camino Beltran and south of Hawkins Road and is bounded on the east by the PGE power lines. This phase totals 33.6 acres and consists of medium density housing and the agricultural buffer on the east. There are 223 RM lots.

The major amenities infrastructure to be installed with this Phase are as follows:

- Open Space Buffer, detention basin and Interface with farming operation to the east.

The required Infrastructure Improvements with development of Phase 6 are as follows:

Roads – Hawkins Road shall be completed from Farmer Lane east to the project limits, interior streets shall be installed to complete circulation inclusive of a secondary access through phase five of the Farm at Alamo Creek. Secondary vehicular access will be provided upon completion of a road connection through phase 5 as such the Fields will follow phase five or be constructed concurrently with phase 5.

Sewer – The sewer from this area will be conveyed west through 8” and 10” sewer lines to the sewer line installed in Carroll Way. An easement will be provided for a 48” sewer line along the Fields eastern edge that will pass through the Farm and connect to the existing 54” sewer main in Elmira Road.

Water – The water system must be adequately looped to meet City Standards. The adequacy of the looping will be verified with each Phase through a hydraulic analysis performed by the City’s consultant. It is anticipated that with Phase 5, 8” lines will be installed in the interior residential streets.

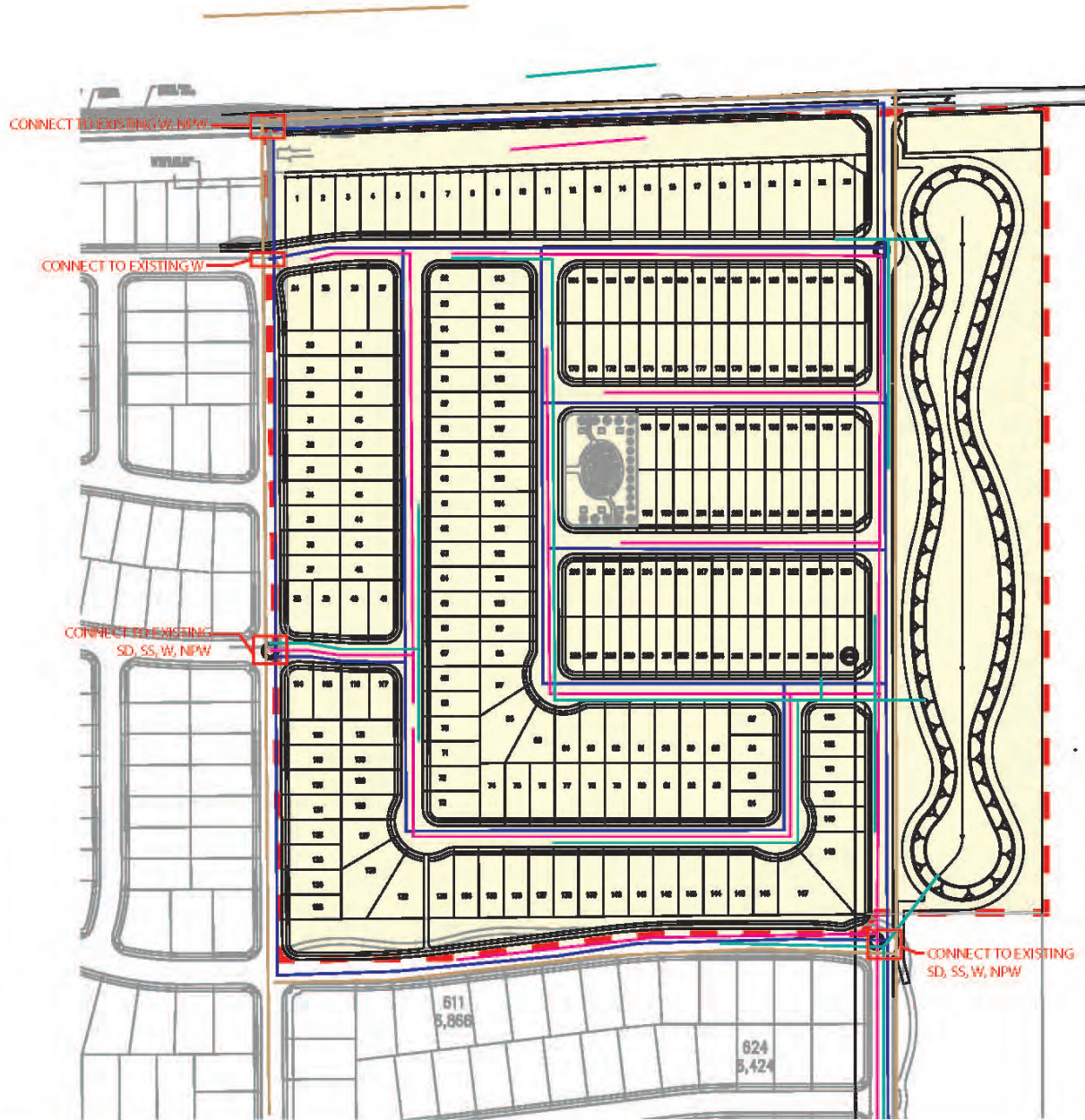
Storm Drainage – Drainage from this area will be conveyed through storm drain pipes to the detention basin which will flow to the detention basin within the Farm at Alamo Creek.

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Figure 10.5: Phase 5 Plan

IMPLEMENTATION



LEGEND	
	SANITARY SEWER
	STORM DRAIN
	WATER
	NON-POTABLE WATER

THE FIELD
AT ALAMO CREEK

PHASE 6
FIGURE 10.6

chapter 10

10.4 GENERAL NOTES FOR DEVELOPMENT

The following notes clarify the required improvements for development of The Farm at Alamo Creek. It should be noted that sewer and water modeling will need to occur with each proposed phase to ensure that City of Vacaville Design Standards are maintained.

10.4.1 General Notes

1. Whenever a roadway is required to be constructed for a specific area, the utilities and storm drainage proposed to be constructed in that roadway shall be installed by the Developer who is constructing the road regardless of the utility and storm drainage is needed for the specific Area. This shall include any proposed stub-outs for future use.

2. When a roadway is required to be constructed, the required frontage improvements for that roadway will be installed at the time the roadway is constructed. For

roadways with detached sidewalk, the required frontage improvements shall include the construction of the sidewalk and irrigation sleeves be under the sidewalk. Landscaping in front of homes, including the parkway strip shall be completed with house construction.

3. Sanitary Sewer – Sewers shall be built according to The Farm at Alamo Creek Project Sewer Modeling Study (Feb 2017) and as approved by The Farm at Alamo Creek Specific Plan, Sewer Collection System Plan.

4. Water – Water modeling is required for each phase up to and including Build out to confirm conformance to the City of Vacaville Water System Master Plan (WSMP) requirements. Water modeling will confirm proper water main extensions & tie-ins to meet WSMP requirements. No temporary water connections are allowed.

5. Any boundary street for a specific area shall be constructed (the full street and landscaping and irrigation between the curb and sidewalk) with development of that individual area.

6. If specific utilities are required for an area and the roadway is not required to be constructed by that same Area, the Developer shall construct a maintenance road over the installed utility in conformance with City Standards.

7. No temporary drainage ditches will be allowed, and drainage shall be conveyed per City Standards.

IMPLEMENTATION

10.4.2 Fire Department General Notes

The following are required for each phase of development:

1. Fire hydrants must be in and working per City standards prior to the start of construction.
2. Two roads leading to the development is required. One may be an approved EVA (during construction) that meets the Vacaville Fire Department standards, is at least 20 feet wide and can support the load of the fire department's apparatus equipment.
3. Before, during and after construction the Vacaville Fire Department standards for weed abatement must be maintained.



10.5 FUNDING MECHANISMS

It is anticipated that construction of the public infrastructure improvements will be constructed by the developers as outlined in Section 8.4 above. It is recognized that some developers may install infrastructure improvements that benefit other developers in the area. It is anticipated that a Benefit District will be formed to establish the fair share allocation of those costs to each developer.

10.5.1 City Impact Fees

The City of Vacaville has adopted a set of development impact fees to finance citywide capital facilities requirements and sewer, water, storm drain and traffic improvements. The fee structure requires the payment of fees with the building permit and anticipates the construction of capital facilities at the time that development has met an identified impact threshold. Citywide, all new development is required to participate in the program. Fire, police, drainage conveyance (offsite), parks, schools, and green belt buffers are covered by the fee program.

10.5.2 School Impact Fees

The City of Vacaville has enacted a police power ordinance to impose school impact fees on new development. These fees are used to finance the construction of school facilities. The fee will be paid with each building permit.



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10.5.3 Park and Recreation Fees

The City of Vacaville has adopted a police power ordinance to impose fees for parks and recreational uses on new development. The city requires the dedication of 4.5 acres of Park land for every 1,000 residents. Per that requirement, The Farm at Alamo Creek would be required to dedicate 7.03 acres for park uses (521 residential units with 3 residents per unit for a total population of 1,563). **The Fields amendment will generate 723 residents and a dedication obligation of 3.2 acres.**

The Farm at Alamo Creek Project proposes dedicating to the City of Vacaville significantly more Park acreage than is required by the Ordinance. The development includes the following Park amenities: 7.2 acres of private parks (including 2 pocket parks and a Club House and Pool Facility); 11.2 acres of public parks; 21.2 acres of trails, creek, and detention basin areas; and 4.5 acres of other community open space. The costs associated with dedication of the land would be spread among all The Farm at Alamo Creek developers through a Benefit District (like the methodology used to spread the land costs other development projects in the City). It is anticipated that the project shall annex into existing L&L and park districts. Trails will be classified as setback landscaping and be maintained by the L&L District.

The Fields will provide .6 acres of private park and 7.2 acres of open space with trails and amenities.

10.6 MAINTENANCE

The Farm at Alamo Creek will be unique in that there will be a Homeowners Association formed to maintain and operate certain private facilities. These facilities include: The Clubhouse and Pool facility on Camino Hacienda Parkway; the two mini private parks within the project area; fountain and landscaping that is part of the detention facility.

10.6.1 Public Safety District (CFD 11)

Public Safety District also known as Community Facilities District 11 (CFD 11) has been established by the City Council to pay for police and fire services in new development areas within the City. The Farm at Alamo Creek will be required to annex into CFD 11.

Community Facilities District 8 (CFD 8) also provides funding for police and fire services and the Fields will be annexed into CFD 8.

10.6.2 Lighting and Landscape District

The Farm at Alamo Creek area will be required to form a new Lighting and Landscaping District for ongoing maintenance of the backup landscaping, trail landscaping, and streetlights in the area.

10.6.3 Parks Maintenance District

The Farm at Alamo Creek and the Fields will be required to form a new Park Maintenance for ongoing maintenance of the public neighborhood parks in The Farm at Alamo Creek Area. The Farm at Alamo Creek Homeowners Association will maintain the private parks as mentioned above. **The Fields Homeowners Association will maintain the private park within its project area.**



10.7 PROCEDURE FOR AMENDING THE SPECIFIC PLAN

The procedure for amending the Specific Plan as specified in the Zoning Code requires submittal of an application and accompanying processing fees. Before amending the Specific Plan, the City will refer the action to the appropriate agencies who will participate in the review of the proposed amendment. The City will also provide opportunities for the public to become involved in any future amendment. Amendments are permitted to the Specific Plan, without the necessity to amend the Development Agreement, as long as such amendments are not inconsistent with the Development Agreement. Amendments may be initiated by a property owner or by the City.

10.7.1 Screening of Proposed Amendments

The Director of Community Development, or their designee, shall screen all proposed Specific Plan Amendments and determine whether such constitutes an administrative or major amendment. If a determination is made that a proposal is an administrative amendment, the amendment shall be reviewed and approved by the Director. If a determination is made that the request is a major amendment, the amendment shall be reviewed by the Planning Commission and adopted by the City Council.

An applicant may appeal the Directors' determinations to the Planning Commission.

10.7.2 Administrative Amendments

Administrative Amendments to this Specific Plan which may be approved by the Community Development Director include:

- A. The Addition of new information to the Specific Plan map or text does not substantially change the effect of the regulations or guidelines.
- B. Changes to the provision of community infrastructure, such as drainage, water, and sewer systems, which do not have the effect of increasing or decreasing development capacity in the Plan Area.
- C. Changes to Land Use or Phasing Area boundaries which would not affect dwelling unit counts or infrastructure sizing.

10.7.3 Major Amendments

If the Community Development Director, or their designee, determines that a proposed amendment does not meet the criteria for a minor amendment, a major amendment to the Specific Plan shall be reviewed in the same manner as the initial Specific Plan adoption. If the Community Development Director further determines that a zone change is required, said applications shall be reviewed in addition to the Specific Plan Amendment itself and may be reviewed concurrently.





APPENDIX A

Relationship to the 2015 City of Vacaville General Plan

The Farm at Alamo Creek Specific Plan and the City's current 2015 General Plan provide a framework to guide future land use and development decisions within the 157.2-acre planning area. The Specific Plan is consistent with, and functions as an implementation tool of the General Plan in three ways:

- A) By acting as a statement of planning policy that refines the general plan policies applicable to a specific plan area;
- B) By directly regulating land use and;
- C) By bringing together detailed policies and regulations into a focused development program.

The City's current General Plan Land Use Element, as updated, has the following Implementing Policies which are applicable to, or addressed by the Specific Plan for The Farm at Alamo Creek. The Implementing Policies are italicized as follows along with how The Farm at Alamo Creek Specific Plan addresses each statement highlighted with bold font:

LU-P1.8 Design aesthetically pleasing roadways using trees or other appropriate landscape improvements.

The Farm at Alamo Creek will provide extensive landscaping along Leisure Town Road (future Jepson Parkway) and internal roadways as described in sections 3.4.9. An orchard, planted on a proposed 5:1 berm along the east side of Leisure Town Road, will reduce traffic noise avoiding the construction of a common masonry wall. The orchard also introduces the theme of the project which is "Farm to Table".

LU-P2.2 Require that Specific Plans be prepared for new areas brought into the City for development. Such Specific Plans must provide a coordinated plan for land use, public facilities, and public services. Prohibit individual, piecemeal developments within these outlying areas.

The Farm at Alamo Creek and Fields Specific Plan has been prepared to address this Land Use Policy.

LU-P2.4 Require that development on any prime farmland of statewide importance, or unique farmland (as classified by the California Department of Conservation) purchase conservation easements to permanently protect agricultural land of equal or greater value at a ratio of 1 acre of conserved agricultural land per 1 acre of developed agricultural land.

The Farm at Alamo Creek and Fields will provide the required conservation easements.

LU-P3.6 Require that new development or new Specific Plan areas be located immediately adjacent to existing development or infrastructure.

The Farm at Alamo Creek is situated such that 2 sides of the property are coincident with the Vacaville City limits and existing development. In addition, the project will promote the orderly extension of infrastructure facilities (primarily sewer, water, and the Carroll Way extension) to service planned development to the north and east. The Fields provides a similar border configuration to the Farm at Alamo Creek prior to its annexation. The Fields was contemplated with the Farm at Alamo Creek and the amendment fulfills this expectation.

LU-P5.2 Lands East of Leisure Town Road: In conjunction with approval of any new urban development on lands shown as “Area B” on Figure LU-3, which consists of lands that are inside the Urban Growth Boundary but east of Leisure Town Road and between the Locke Paddon Community areas on the north and New Alamo Creek on the south, the City shall require such development to mitigate its impact on agricultural and open space lands by preserving, to the extent consistent with applicable law, for each acre of land developed, at least 1 acre of land outside the Urban Growth Boundary but within Pleasants Valley, Upper Lagoon Valley, or Vaca Valley, or any other location that is within 1 mile of the Urban Growth Boundary. Alternatively, to the extent consistent with applicable law, such development may pay an equivalent in-lieu fee as determined by the City in consultation with the Solano Land Trust. Lands acquired directly or with fees collected pursuant to this requirement shall first be offered to the Solano Land Trust. Any such fees transferred to the Solano Land Trust may only be used to acquire or protect lands outside of the Urban Growth Boundary but within 1 mile of the Urban Growth Boundary, or within Pleasants Valley, Upper Lagoon Valley, or Vaca Valley. Acquisitions pursuant to this requirement shall be coordinated with the Solano Land Trust.

If for any reason adequate land to meet the conservation goals described in the Vacaville General Plan, and in particular this section, cannot be identified or acquired, the City and the Solano Land Trust, or if the Solano Land Trust declines to participate, the City and another land conservation entity shall meet and confer to identify other areas where conservation acquisitions can occur at a reasonable cost and to satisfy the conservation goals described in this section.

The Farm at Alamo Creek and Fields will be conditioned to comply with this policy.

LU-P6.1 Require that all development mitigate its own impacts on the existing community and pay its fair share of the cost of capital improvements needed to serve the development.

The Farm at Alamo Creek and Fields amendment will pay their fair share of costs as established through the AB1600 analysis. In addition, the project will participate in any Benefit Districts established by projects in the vicinity that may install infra-structure that benefits The Farm at Alamo Creek.

LU-P6.2 Require that infrastructure and service improvements for future annexation or growth areas do not create an undue burden on existing City infrastructure and services.

The Farm at Alamo Creek infrastructure studies demonstrate that the project does not create an undue burden on the surrounding areas or the City in general.

LU-P6.3 Ensure that future annexations are consistent with the overall goals and policies of the General Plan and do not adversely impact the City’s fiscal viability, environmental resources, infrastructure and services and quality of life.

A program EIR and SEIR was certified by the City of Vacaville with the approval of the General Plan Update that included the Plan Area and concluded development of the Plan Area with residential uses would not conflict with General Plan policies and would have acceptable impacts to environmental resources. The Plan Area will join a Community Facilities District and pay Development Impact Fees to avoid impacts to City services and infrastructure.

LU-P6.4 Require that all Specific Plans include a fiscal impact study.

When completed, the Fiscal Impact Study for The Farm at Alamo Creek will be included as an appendix to this Specific Plan. A Fiscal Impact

Analysis was prepared for the Fields by ALH Economics, and it was found that the project would be fiscally positive to the city with existing city revenue streams. The analysis considered all costs of city services including police and fire services and was found to result in a net annual revenue surplus to the city. Despite being fiscally positive without augmentation the landowners have consented to participation in CFD 8 which will provide an enhanced revenue stream to the city for police and fire services above and beyond the project's impacts.

LU-P9.1 Encourage sources of fresh food, including grocery stores, farmer's markets, and community gardens, and prioritize underserved areas for new sources of healthy food.

The theme for The Farm at Alamo Creek is "Farm to Table". The eastern portion of the property (from the PG&E power lines to Meridian Road) is owned by the project proponent and will continue to be farmed. The proposed landscape species for the neighborhood will include several fruiting species, highlighting the agrarian character of the region. Additionally, local food production will be specifically encouraged in the proposed agriculture buffer area if allowed by the City. It is planned that the sale and/or distribution of produce grown on the property may be incorporated within the project through a small food stand to be located within the development. Residents will be encouraged to purchase fresh vegetables grown on the property.

LU-P9.5 Encourage all new public facilities, schools, parks, and recreational facilities, and commercial, office, and medical buildings to provide drinking fountains.

The parks within The Farm at Alamo Creek and Fields Specific Plan will all provide drinking fountains.

LU-10.1 Encourage new neighborhoods to provide for the basic needs of daily life and for the health, safety, and mental well-being of residents.

The Farm at Alamo Creek will be providing a club house and pool facilities for neighborhood gatherings and recreational activities will be located at the heart of the project. The fields will provide a neighborhood park in the center of the project area. In addition, numerous bike and pedestrian trails will amplify opportunities for exercise and reflection and the enjoyment of the outdoor environment.

The project also proposes to incorporate and enhance Old Alamo Creek that traverses the property. A landscaped detention basin will be installed adjacent to Alamo Creek in the southeast corner of the project: the basin and its surrounding landscape will provide a destination to the residents for passive recreation.

A natural park area will incorporate and protect the existing mature trees along the banks of the Old Alamo Creek. A Play 4 All Park, that will serve children of all abilities and disabilities, is provided south of Alamo Creek and will provide recreational opportunities on a City-wide basis.

Overall, the "Farm to Table" project will provide opportunities to grow, produce and purchase locally grown fresh produce.

LU-P11.1 Encourage creative residential site design and architectural quality and variety in the City's design approval process.

The Farm at Alamo Creek integrates the natural setting adjacent to Old Alamo Creek and the farmlands to the east to create a project with a "Sense of Place."

The architectural design of the homes provides a variety of residential typologies, reflecting the desire for a suburban community of medium/low density, clustered around its major landscape features. The design of the exterior will reflect the color, texture, and feel of the

adjacent agrarian landscape, avoiding a sharp contrast with the surrounding context.

Pedestrian circulation is encouraged throughout the entire neighborhood with continuous pedestrian paths, linking the proposed and existing landscape assets (Old Alamo Creek, the Community Center, the pocket parks, and the Community Park). All cul-de-sacs open onto an adjacent collector, allowing continuity for pedestrian circulation (no dead-end streets) through the entire neighborhood.

Similar to the Farm at Alamo Creek the Fields will continue the theme of the eastern edge open space and agricultural buffer that will provide pedestrian trails and open space opportunities.

Thematic native and adapted vegetation will provide the **backbone** of the landscape street improvements, emphasizing the specific use, character and feel of each street.

LU-P11.3 Require a Planned Development permit for all residential development meeting one or more of the following criteria, consistent with the adopted Planned Development regulations (the Planned Development permit process is intended to increase flexibility for these types of development by allowing deviations from typical development standards, such as setback, building height, landscaping, parking, and design):

- *Multi-family projects of 10 units or more.*
- *Mixed Use.*
- *A location potentially subject to natural or man-made geologic hazards, including hillside areas.*
- *Any project exceeding the maximum density allowed by the land use designation or with 50 units or more.*

This Specific Plan serves as the project's Planned Development Permit.

LU-P11.5 Prohibit residential neighborhood design that places access to single family lots on arterial streets.

No single-family lots will take direct access from Elmira Road, Hawkins Road, Carroll Way, or Leisure Town Road in The Farm at Alamo Creek and Fields Specific Plan area.

LU-P11.6 Design residential neighborhoods to avoid placing access to single family lots on collector street and limit the number of intersections along collector streets.

There are no collector streets proposed within The Farm at Alamo Creek or the Fields Project.

LU-P12.1 Encourage development that broadens the choice of type, size, and afford-ability of housing in Vacaville.

The Farm at Alamo Creek will provide 8 different housing types and lot sizes and the Fields, although significantly smaller than the Farm, it will provide two different housing types and lot sizes.

LU-12.2 Provide for transitions between higher-density and lower density housing.

The Farm at Alamo Creek provides well planned transitions between housing types. Examples include the blending of an attached product backing up to two large lot portions of the project. The attached product serves to provide an interesting denser corridor, at the heart of the

neighborhood, connecting the Clubhouse facility with the two smaller pocket parks.

The variety in the density and the lot size changes nearly at every other block blend transitions between the Plan Area neighborhoods.

The Fields continues well planned transitions between housing types and uses such as parks and open space.

LU-12.3 Strive to maintain a citywide housing mix of approximately 75 percent single-family and 25 percent attached housing.

The Farm at Alamo Place would provide for 184 attached units within the total of 768 housing units. This would provide for a housing mix of 21% attached and 79% single family detached. **The Fields has responded to the City's request for a greater number of attached units and will provide 88 attached units out of a total of 241 units. The Fields results in 37% of its units being attached and 63% single family detached. These ratios are consistent with and support the Citywide policy of 75 percent single family and 25 percent attached housing and the city's most recent direction for more attached housing.**

LU-P13.1 Ensure that new commercial development is compatible with the character and scale of existing and planned adjoining land uses.

Per the City of Vacaville General Plan there are two commercial centers on Leisure Town Road on either end of the project area (SE corner of Leisure Town Road at Hawkins Road, and NE corner of Leisure Town Road at Elmira Road. Each of these sites comprising 4.2 and 3.2 acres respectively provide opportunities for neighborhood commercial uses that would benefit The Farm at Alamo Creek. Uses could include a small market, coffee shop, dry cleaners, hair salon, each designed to serve the immediate communities and encourage walking or biking for these daily kinds of services.

LU-P13.2 Provide neighborhood and community shopping centers of various sizes and locations to ensure easy access from nearby residential area to daily serve commercial and service needs.

The Farm at Alamo Creek will have two neighborhood commercial centers easily accessed by walking and biking via the numerous trails, biking, or by vehicle to the northern center which will have an interior street fronting the center.

LU-P13.3 Locate shopping centers and neighborhood commercial facilities at the intersection of major thoroughfares and, where appropriate, adjacent to multifamily housing and transit.

The two commercial centers within the Specific Plan area are located at two major intersections:

- Leisure Town Road at Hawkins Road
- Leisure Town Road at Elmira Road

LU-P17.2 The East of Leisure Town Road Growth Area shall include a mixture of housing densities and attached and detached housing types consistent with the adopted land use diagram.

The Farm at Alamo Creek Specific Plan details a wide variety of housing in that 43% of the 768 units are Residential Low Density (RLD), 33% of the units are Residential Low Medium Density (RLMD), and 24% of the units are Residential Medium High Density (RMH). **Consistent with this**

policy the Fields provides an attached and detached product type both of which fall with the Residential Medium Density (RM) which is new land use to the plan area.

LU-P17.3 When considering specific plan proposals for development on lands designated Residential High Density in the East of Leisure Town Road Growth Area, ensure that overall development in the East of Leisure Town Road Growth Area is on track to provide at least 13 percent of the total residential units as attached, multi-family units.

Of the 768 housing units in The Farm at Alamo Creek Specific Plan area, 184 are designated attached and/or multi-family. This represents 24% of the total. The Fields provides 37% of its housing units as attached meeting this policy.

LU-P17.5 Require that specific plans be prepared for development in the East of Leisure Town Road Growth Area to ensure that coordinated plans for land uses, public facilities, and public services are created for such area, and require that these specific plans are consistent with the City's updated infrastructure master plans that account for development in the East of Leisure Town Road Growth Area.

The Farm at Alamo Creek Specific Plan has been prepared to address this Policy. In addition, this Specific Plan has designed infrastructure to be consistent with the City's MSR assumed developed potential of Urban Reserve areas.

LU-P17.6 Require that specific plans for the East of Leisure Town Road Growth Area include a diagram showing the distribution of land uses and define permitted and conditionally permitted land uses, major public facilities (including schools, parks, roads, water, sewer, and drainage facilities), phasing, infrastructure financing mechanisms, interim fire protection measures, and any other elements that may be needed to ensure an orderly development process with minimal adverse impacts to the existing community. The specific plans shall be consistent with the City's master infrastructure plans prepared for the East of Leisure Town Road Growth Area.

The Farm at Alamo Creek and Fields Specific Plan includes the information required by this policy.

LU-P17.7 Prohibit the location of competing new neighborhood shopping centers at the Hawkins Road and Leisure Town Road intersection.

Only one commercial designation on this corner is proposed.

LU-P17.8 The General Plan Update Environmental Impact Report (EIR) assumes the following maximum development projections for the year 2035 for the lands located within the East of Leisure Town Road Growth Area, shown in Figure LU-7:

- Residential: 2,340 units
- Commercial: 160,000 square feet (12 acres)
- *When approved development in the East of Leisure Town Road Growth Area reaches the maximum number of residential units or commercial square feet projected in the General Plan EIR, the Community Development Director shall require that environmental review conducted for any subsequent development project address growth impacts that would occur due to development exceeding the General Plan EIR's projections. This does not preclude the City, as lead agency, from determining that an EIR would be required for any development in the*

East of Leisure Town Road Growth Area to the extent required under the relevant provisions of CEQA (e.g. Section 21166 and related guidelines). The City will conduct the appropriate scoping at the time of initial study for any specific plan, all in accordance with these requirements.

With adoption of this Specific Plan, the following projects and their corresponding unit counts will have been approved:

- Brighton Landing – 780 units
- Roberts’ Ranch – 785 units
- The Farm at Alamo Creek – 768 units
- Total approved - 2,333 units

This is just below the maximum number of 2,340 units. Since 122 units are designated for the area north of Hawkins Road, development of these units would exceed the 2,340 unit maximum therefore triggering the need for additional review and potentially additional improvements.

LU-P17.9 Require residential specific plans within the East of Leisure Town Road Growth Area to contain a component of housing designed to attract business executives and professionals.

Business executives and professionals are typically attracted to two distinct housing types, depending on their personal lifestyle. Professionals with families will be attracted to larger single- family homes with a large yard size that can be found at the Farm at Alamo Creek, on the south side of Hawkins Road near the intersection with Carroll Way. Additionally, singles and younger professionals are provided appropriate starter home options in the duet product. These units can be found in two locations within the Specific Plan area: immediately adjacent to the Club House facility and off Elmira Road nestled next to Old Alamo Creek. The units near the Club House face one another along a central ‘spine’ (Windmill Way) enhancing the more “urban” feel of this section of the community. At the direction of City Staff the Fields has provided smaller lots and attached housing intended to create greater attainability.

LU-P17.10 Require Specific Plans within the East of Leisure Town Growth Area to provide a wide variety of lot sizes and housing types. Lots located adjacent to the Agricultural Buffer, north of Elmira Road, shall be 10,000 square feet in size.

The Farm at Alamo Creek Specific Plan has 8 different lot sizes and housing types and all lots adjacent to the agricultural buffer are 10,000 square feet or larger. The Fields provides two different lot sizes and housing types. The Fields does not have any lots adjacent to the agricultural buffer as the lots are separated by a road and landscape setback on the residential side of the street.

Policy LU-P17.11 Require specific plans within the East of Leisure Town Road Growth Area to incorporate detention basins, agricultural buffer areas, and public open spaces into the physical amenities designed into the neighborhoods.

These amenities could include trails, passive open spaces, recreational spaces, or other features designed to create innovative, attractive

neighborhood design.

The Farm at Alamo Creek has numerous Open Space amenities. A landscaped detention area will be installed along the Alamo Creek basin, in the southeast corner of the project. Because the ground water table is so high, the basin will contain water year-round and it will be aerated with jets and fountains (to be included in subsequent construction plans). The upper elevations of the detention basin will be designed to hold peak flows. The landscape around the basin will integrate a maintenance road/pedestrian trail, providing a pleasant environment for walking and contemplation.

An existing natural park-like area set among mature trees next to Old Alamo Creek will be enhanced to provide enjoyment and a respite from the daily grind.

The Fields will construct its own detention basin and will provide landscaping on the west side of the basin and will integrate a maintenance road/pedestrian trail, providing a pleasant environment for walking and contemplation.

Policy LU-P17.12 Development projects within the East of Leisure Town Road Growth Area shall coordinate their respective roads, bike paths, landscape corridors, and design standards to create a unified sense of place and identity.

The Farm at Alamo Creek and Fields will provide bike trails and walking paths will be located along the three arterials Elmira, Hawkins, and Leisure Town) framing the property. In addition, these trails and paths will connect the parks, Alamo Creek, and the pond area to truly create an integrated "Sense of Place."